



Imperial County Planning & Development Services Planning / Building

Jim Minnick
DIRECTOR

TO:

Commissioner Mike Goodsell
Commissioner Sylvia Chavez
Commissioner Tairu Zong
Commissioner Jerry Arguelles

FROM:

Jim Minnick, Secretary
Planning & Development Services Director

SUBJECT:

Public Hearing for the consideration of the proposed SBA 139' Telecommunications Tower Project, located at 352 E. 1st, Calexico, CA 92231, to determine consistency with the Airport Land Use Compatibility Plan APN: 058-535-001; Zoning: C-1 (Light Commercial) General Plan Designation: Urban (Supervisory District #1) Latitude 32° 66' 53.921", Longitude -115° 49' 27.235" [Luis Valenzuela, Planner II] (ALUC 02-25).

DATE OF REPORT: April 16, 2025

AGENDA ITEM NO: 1

HEARING DATE: April 16, 2025

HEARING TIME: 6:00 p.m.

HEARING LOCATION: County Administration Center
Board of Supervisors Chambers
940 Main Street
El Centro, CA 92243

STAFF RECOMMENDATION

It is Staff's recommendation that the Airport Land Use Commission (ALUC) finds the proposed SBA 139' telecommunications tower project compatible with the 1996 Airport Land Use Compatibility Plan (ALUCP).

SECRETARY'S REPORT

Project Location:

The project site is located at 352 E. 1st, Calexico, CA 92231 on properties identified as Assessor's Parcel Number 058-535-001-000; and described as: Lots 1,2 & E 22 ft of lot 3 in block 73 and all of block 74 and 75 in the City of Calexico, County of Imperial, State of California, Latitude 32° 66' 53.921", Longitude -115° 49' 27.235".

Project Description:

SBA Communication Corporation submitted an application to the City on Calexico for the construction of a new 139' telecommunications self-supported tower in a proposed 30' x 30' gravel compound expansion area within a proposed 5,810 square foot leased area, at 352 E. 1st, within the City of Calexico limits. The proposed structure would be located 1.20 miles east of the Calexico International Airport (CXL).

The project is being presented for the Imperial County Airport Land Use Commission (ALUC)'s review and their determination of consistency with its 1996 Compatibility Plan. The project falls within the Imperial County Airport Land Use Compatibility Map Zone "C".

General Plan/ALUCP Analysis:

The proposed project is located within the City of Calexico limits. The existing General Plan land use designation is "Commercial Core-Mixed Use." The project site is currently zoned CS (Commercial Specialty), and would allow the proposed use, subject to a Conditional Use Permit approval with the City of Calexico.

This project is subject to the Airport Land Use Commission's review for determination of consistency with the 1996 ALUC Plan and policies as stated below:

Policies-Scope of Review, Types of Actions Reviewed, **General Plan Consistency Review-states:**

"The Commission shall review the general plans and specific plans of affected local jurisdictions to determine their consistency with the Commission's policies until such time as (1) the Commission finds that the local general plan is consistent with the Airport Land Use Compatibility Plan".

The proposed project, located at 352 E. 1ST, Calexico CA identified under Assessor's Parcel Number (APN) 058-535-001 is situated within the Calexico Airport's Zone C. Pursuant to the Airport Land Use Compatibility Plan, Part I, Chapter 2 – Policies, Section (3) – Types of Actions Reviewed, Subsection (3-h) – Other Project Review, states:

"... State law empowers the Commission to review additional types of land use "actions, regulations, and permits" involving a question of airport/land use compatibility... For

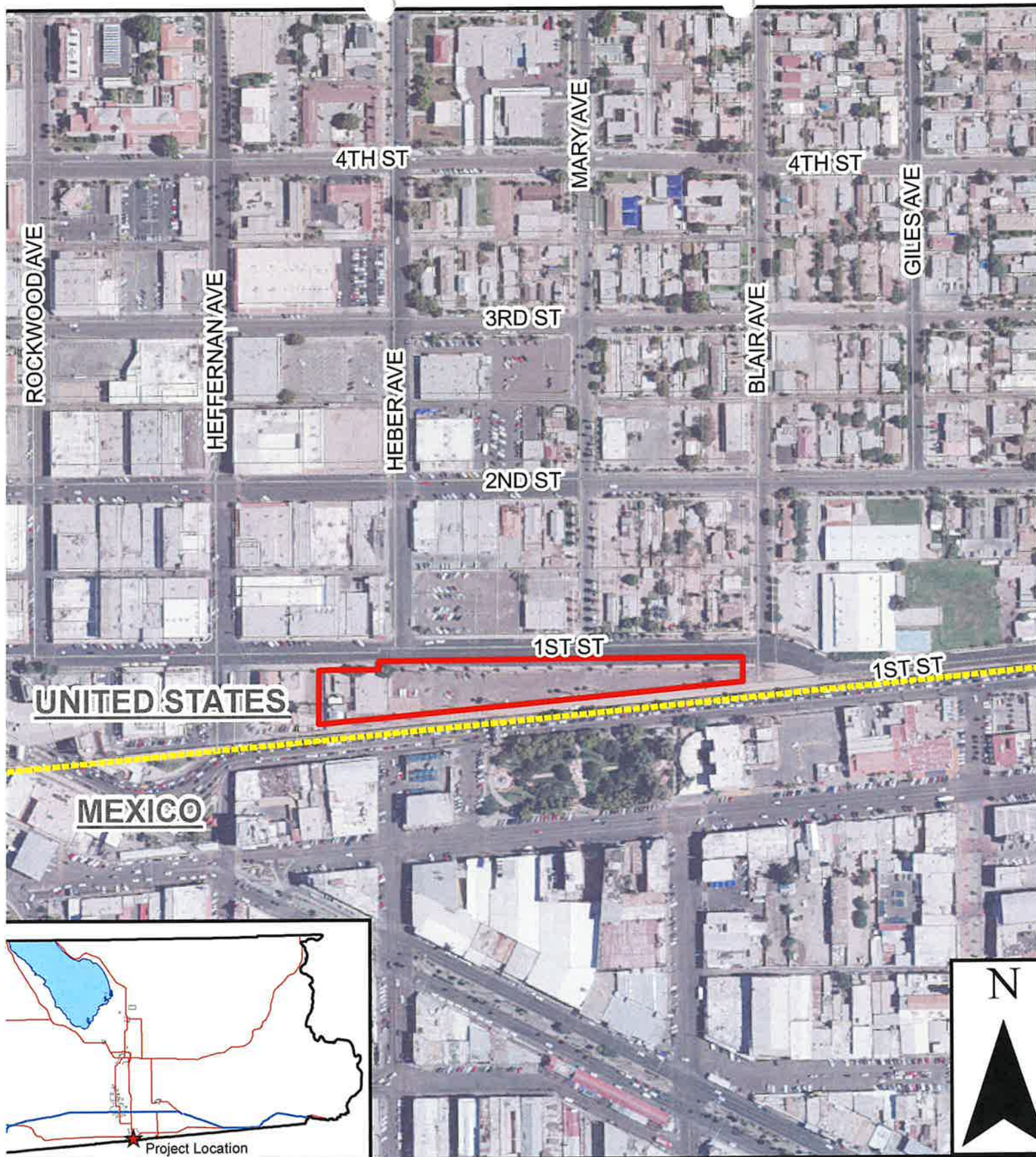
purposes of this plan, the specific types of "actions, regulations and permits" which the Commission shall review include:

- h) "Any other proposed land use action, as determined by the local planning agency, involving a question of compatibility with airport activities ..."

After review of the project and the supporting documents, it is the staff's recommendation that the proposed project (ALUC 02-25 – City of Calexico SBA 139' telecommunications tower) is compatible with the Airport Land Use Compatibility Plan (ALUCP), according to Policies/Chapter 2, Table 2A Compatibility Criteria in Zone C, where it states that the limited risk aircraft at or below 1,000 ft. AGL.

ATTACHMENT "A"
VICINITY MAP

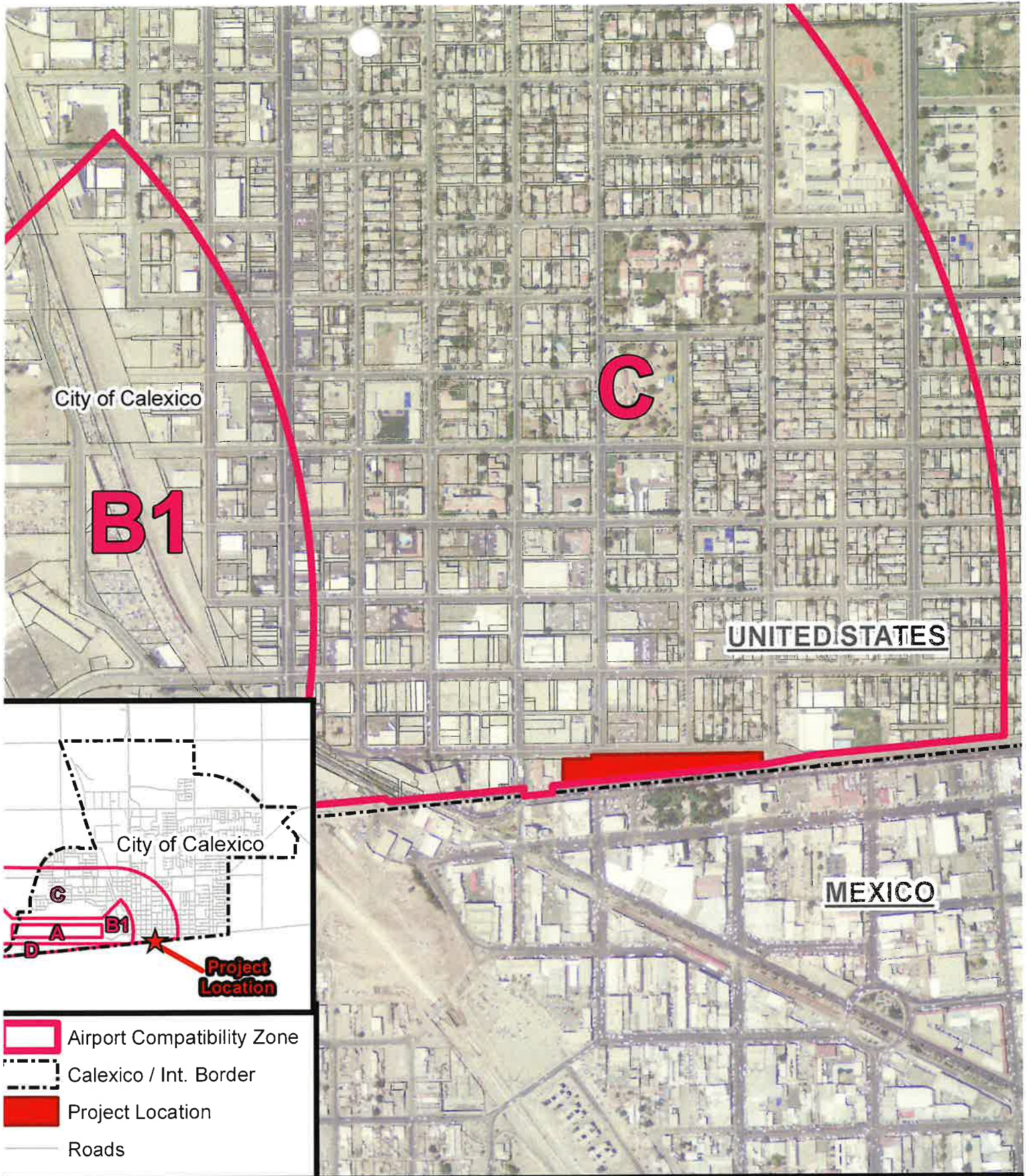
PROJECT LOCATION MAP



SBA COMMUNICATIONS CORPORATION
139' TELECOMMUNICATIONS TOWER
APN: 054-535-001

-  Project Parcel
-  Centerline
-  Calexico / International Border
-  Parcels

ATTACHMENT "B"
ALUC MAP



IMPERIAL COUNTY AIRPORT LAND USE COMMISSION
ALUC #02-25
SBA COMMUNICATIONS CORPORATION
139' TELECOMMUNICATIONS TOWER
APN #058-535-001

N

ATTACHMENT "C"
SITE PLAN

SURVEYOR NOTES

- ALL TITLE INFORMATION IS BASED UPON A COMMITMENT FOR TITLE INSURANCE PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 01-2204922-017, EFFECTIVE DATE: 06/10/2024.
- SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
- SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

PROJECT META DATA

- ELEVATIONS SHOWN HEREON ARE REPRESENTED IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED FROM GPS DERIVED ELLIPSOID HEIGHTS, APPLYING GEOID 126 SEPARATIONS CONSTRAINING TO NGS CORS STATIONS PROVIDED IN THE "ONLINE POSITIONING USER SERVICE" (OPUS) SOLUTION FOR THIS SPECIFIC SITE.
- BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE VI, DETERMINED BY GPS OBSERVATIONS.
- FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 05/29/24.

FLOOD ZONE DESIGNATION

THE PROPOSED LEASE PREMISES SHOWN HEREON APPEAR TO BE WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 06032C130C DATED 09/08/2006.

FLOOD ZONE "X" IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.

PARENT PARCEL LEGAL DESCRIPTION (AS PROVIDED)

SITUATED IN THE CITY OF CALEXICO, COUNTY OF IMPERIAL, STATE OF CALIFORNIA

LOTS 1, 2 AND 3 OF BLOCK 73, AND ALL OF BLOCK 74 AND 75 OF THE TOWNSITE OF CALEXICO, IN THE CITY OF CALEXICO, COUNTY OF IMPERIAL, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 811 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN DIEGO, A COPY OF WHICH BEING NORTH FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF IMPERIAL.

TOGETHER WITH THE SOUTH 20 FEET OF FIRST STREET AND THAT PORTION OF HEBER AVENUE BETWEEN BLOCKS 73 AND 74 AND LYING SOUTH OF THE NORTH LINE OF THE SOUTH 20 FEET OF 1ST STREET, ALL AS VACATED AND CLOSED TO PUBLIC USE BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CALEXICO.

EXCEPTING THEREFROM THE WEST 26 FEET OF SAID LOT 3, AS GRANTED TO THE UNITED STATES OF AMERICA BY DEED RECORDED JULY 24, 1951 AS INSTRUMENT NO. 6, IN BOOK 817, PAGE 478 OF OFFICIAL RECORDS.

BEING THE SAME PROPERTY CONVEYED TO CALEXICO TOWN COMPANY, A CORPORATION, GRANTEE FROM IMPERIAL LAND COMPANY, GRANTOR, BY INDENTURE RECORDED 09/12/1904 AS BOOK 349, PAGE 637 OF THE IMPERIAL COUNTY RECORDS.

BEING THE SAME PROPERTY CONVEYED TO THE CITY OF CALEXICO, A MUNICIPAL CORPORATION, GRANTEE, FROM IMPERIAL VALLEY IMPROVEMENT COMPANY, GRANTOR, BY INDENTURE RECORDED 0105/1910 AS BOOK 028, PAGE 354 OF THE IMPERIAL COUNTY RECORDS.

BEING THE SAME PROPERTY CONVEYED TO THE CITY OF CALEXICO, A MUNICIPAL CORPORATION, GRANTEE, FROM IMPERIAL VALLEY IMPROVEMENT COMPANY, GRANTOR, BY INDENTURE RECORDED 1910/1910 AS BOOK 028, PAGE 355 OF THE IMPERIAL COUNTY RECORDS.

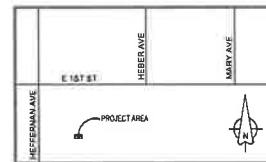
BEING THE SAME PROPERTY CONVEYED TO THE CITY OF CALEXICO, A MUNICIPAL CORPORATION, GRANTEE, FROM E. CARRILLO AND FRANCISCA DE CARRILLO HIS WIFE, GRANTOR, BY INDENTURE RECORDED 1020/1910 AS BOOK 030, PAGE 206 OF THE IMPERIAL COUNTY RECORDS.

TAX ID: 058-533-001-002

SCHEDULE B EXCEPTIONS

- SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS AND RIGHTS OF WAY AND BUILDING SETBACKS, IF ANY, AS SHOWN ON THE MAP OF HAZARD & STRANDS SUBDIVISION OF THE COON RANCH AS RECORDED IN VOLUME 914, BOOK 001, RECORDED 11/11/1919 IN IMPERIAL COUNTY RECORDS (DOES NOT AFFECT PARENT PARCEL OR EXCLUSIVE EASEMENT AREA).
- EASEMENT DEED IN FAVOR OF IMPERIAL VALLEY IMPROVEMENTS COMPANY, A CORPORATION, AND IMPERIAL IRRIGATION DISTRICT, A QUASI-MUNICIPAL CORPORATION, RECORDED 01/12/1948 AS INSTRUMENT NO. 1948-0112016, OF THE IMPERIAL COUNTY RECORDS (DOES NOT AFFECT PARENT PARCEL OR EXCLUSIVE EASEMENT AREA).
- CORRECTED ACCEPTANCE, RECORDED 02/19/1948, IN INSTRUMENT NO. 1948-0219314, OF THE IMPERIAL COUNTY RECORDS (DOES NOT AFFECT PARENT PARCEL OR EXCLUSIVE EASEMENT AREA).
- RIGHT OF WAY IN FAVOR OF CALIFORNIA ELECTRIC POWER COMPANY, RECORDED 07/11/1952 IN INSTRUMENT NO. 1952-0711100, BOOK 842, PAGE 517, OF IMPERIAL COUNTY RECORDS (DOES NOT AFFECT PARENT PARCEL OR EXCLUSIVE EASEMENT AREA).
- SUBJECT TO THE TERMS AND CONDITIONS OF LEASE BY AND BETWEEN CITY OF CALEXICO, LESSOR (LESSOR(S)) AND THE UNITED STATES OF AMERICA, LESSOR(S), RECORDED 06/20/1953 AS INSTRUMENT NO. 1953-0620110, BOOK 1151, PAGE 553, OF THE IMPERIAL COUNTY RECORDS (AFFECTS PARENT PARCEL, DOES NOT AFFECT EXCLUSIVE EASEMENT AREA).
- SUBJECT TO THE TERMS AND CONDITIONS OF LEASE BETWEEN CITY OF CALEXICO, CALIFORNIA AND THE UNITED STATES OF AMERICA, RECORDED 02/15/1955, IN INSTRUMENT NO. 1955-0215088, BOOK 1281, PAGE 486, OF THE IMPERIAL COUNTY RECORDS (AFFECTS PARENT PARCEL, DOES NOT AFFECT EXCLUSIVE EASEMENT AREA).
- SUBJECT TO THE TERMS AND CONDITIONS OF LEASE BETWEEN CITY OF CALEXICO AND THE UNITED STATES OF AMERICA, RECORDED 03/09/1966, IN INSTRUMENT NO. 1966-0309049, BOOK 1226, PAGE 132, OF THE IMPERIAL COUNTY RECORDS (AFFECTS PARENT PARCEL, DOES NOT AFFECT EXCLUSIVE EASEMENT AREA).
- SUBJECT TO THE TERMS AND CONDITIONS OF COMMERCIAL LEASE AGREEMENT BY AND BETWEEN THE CITY OF CALEXICO, LANDLORD, AND VALLEY ORTHOPAEDIC CLINIC, INC., TENANT, RECORDED 06/17/2005, IN BOOK 2005, PAGE 217, OF THE IMPERIAL COUNTY RECORDS (AFFECTS PARENT PARCEL, DOES NOT AFFECT EXCLUSIVE EASEMENT AREA).
- LEASE AGREEMENT BETWEEN THE CITY OF CALEXICO, LESSOR, AND VALLEY ORTHOPAEDIC CLINIC, INC., LESSEE, RECORDED 08/02/2016, IN INSTRUMENT NO. 201605277, OF THE IMPERIAL COUNTY RECORDS (AFFECTS PARENT PARCEL, DOES NOT AFFECT EXCLUSIVE EASEMENT AREA).

ITEMS 1-4, 8, 11, 16, AND 18-22 OF THE CLIENT PROVIDED TITLE REPORT DO NOT CONTAIN GRAPHICALLY PLOTTABLE EASEMENTS, SETBACKS, RESTRICTIONS OR OTHER ENCUMBRANCES. THE SURVEYOR CANNOT GUARANTEE THAT NON-PLOTTABLE ENCUMBRANCES DO NOT EXIST THAT MAY AFFECT THE SUBJECT LEASED PREMISES.



OWNERSHIP INFO:
THE CITY OF CALEXICO,
A MUNICIPAL CORPORATION
058-585-001-000
BK 028 PG 354; BK 028 PG 355;
AND BK 050 PG 206



SBA COMMUNICATIONS CORPORATION
800 CONSUMERS AVENUE
BOCA RATON, FL 33487-0007
PHONE: 1-800-487-7467



FIELD BY:	CEF
DRAWN BY:	JTS/GAC
CHECKED BY:	RLP

REVISIONS		
NO.	DATE	DESCRIPTION
2	08/21/24	FINAL
1	08/19/24	TITLE REVIEW
0	06/17/24	TITLE REVIEW

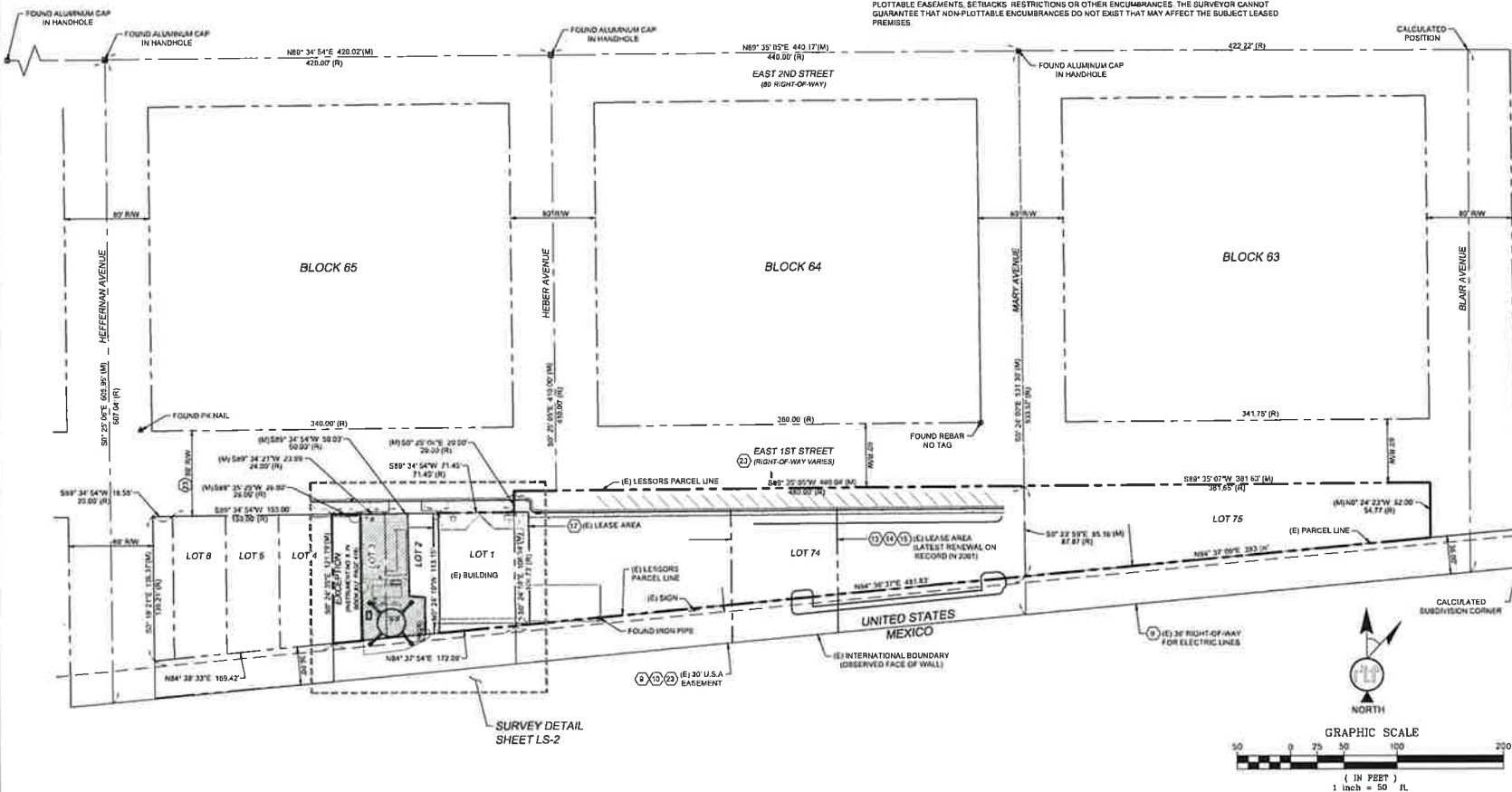


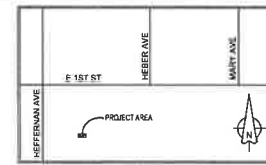
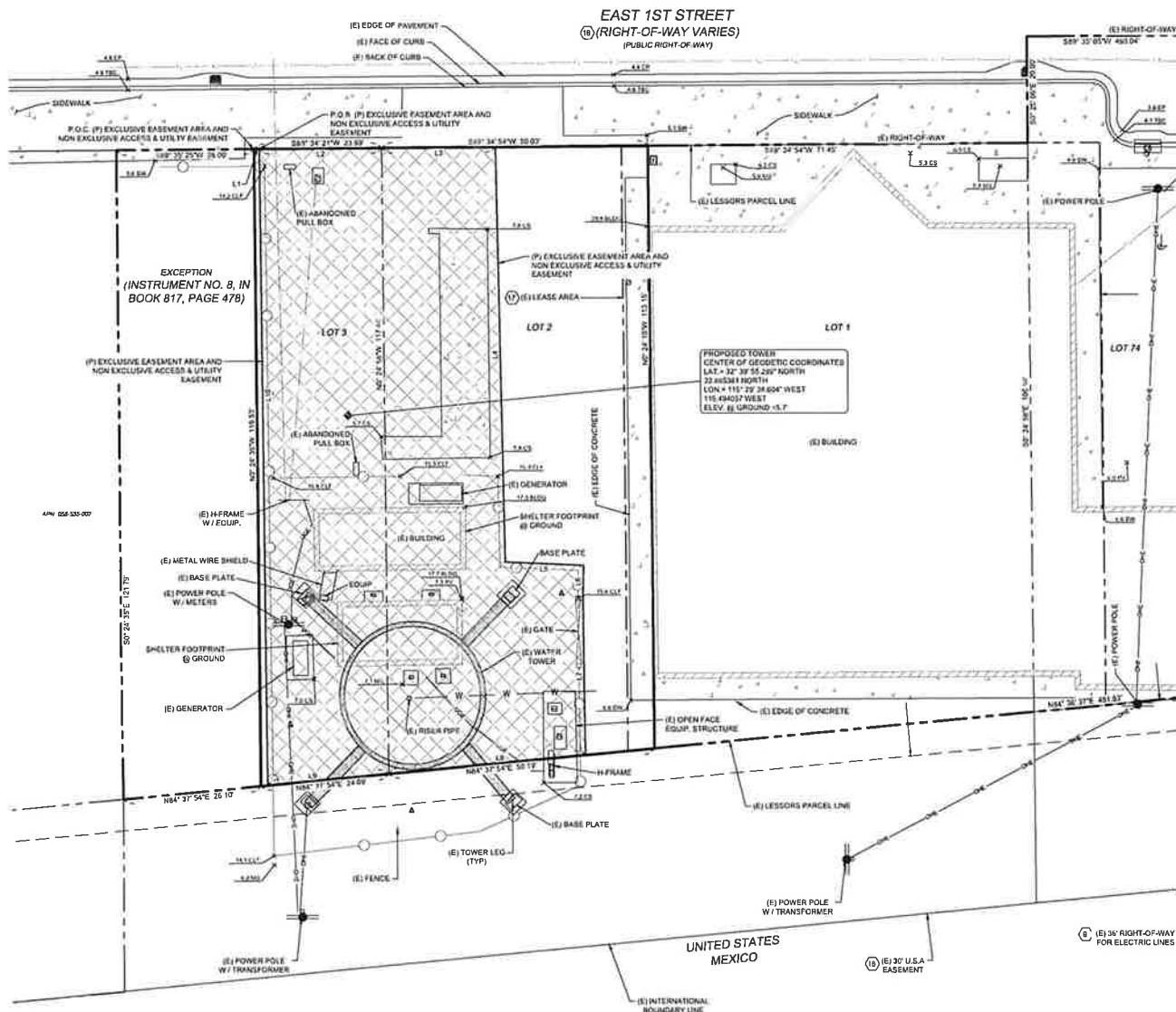
NOTES OF DOCUMENT
THIS DRAFT & DESIGN REPRESENTS THE DESIGN OF THE PROJECT. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN.

PROJECT NO.
2400436
SITE NAME:
352 EAST FIRST STREET
(CA24329-S)
SITE ADDRESS:
352 E 1ST ST
CALEXICO, CA 92231

SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NO.
LS-1
REVISION
2





LEGEND

- IRON PIPE
- NAIL W/ TAG
- AIR CONDITIONING UNIT
- ELECTRICAL PULL BOX
- ELECTRIC METER
- ELECTRIC SWITCH
- ELECTRIC CABINET
- ELECTRIC VAULT
- GENERATOR
- TELEPHONE PEDESTAL
- TELEPHONE VAULT
- POWER POLE W/ TRANSFORMER
- DOWN GUY
- LIGHT POST
- WATER METER
- SANITARY SEWER CLEANOUT
- STORM DRAIN GRATE
- CATCH BASIN
- PALM TREE
- DECIDUOUS TREE
- SIGN
- SPOT ELEVATION
- POSITION OF GEODETIC COORDINATES
- PROPERTY LINE
- PROPERTY LINE (OTHER)
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- CHAIN LINK FENCE
- OVERHEAD ELECTRIC LINE
- POINT OF BEGINNING
- FOR
- POC
- POINT OF COMMENCEMENT

LESSEE EXCLUSIVE EASEMENT AREA AND NON EXCLUSIVE ACCESS & UTILITY EASEMENT LEGAL DESCRIPTION
A PORTION OF LOTS 2 AND 3 OF BLOCK 73, OFF THE TOWNSITE OF CALEXICO, IN THE CITY OF CALEXICO, COUNTY OF IMPERIAL, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 811 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN DIEGO, A COPY OF WHICH BEING NORTHWEST IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF IMPERIAL. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

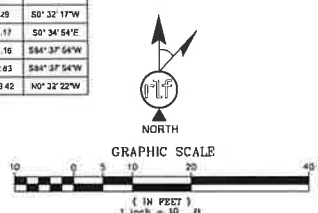
COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 3, THENCE ALONG THE NORTH LINE OF SAID LOT NORTH 89°34'21\"/>

THENCE CONTINUING NORTH 89°34'21\"/>

LESS AND EXCEPT THOSE PORTIONS OF THE EXCLUSIVE EASEMENT AREA DEDICATED TO THE BASE PLATES FOR THE TWO NORTHERNMOST LEGS FOR THE WATER TOWER.

SUBJECT TO THE AIR RIGHTS BELONGING TO THE CITY OF CALEXICO, A MUNICIPAL CORPORATION, OVER THAT PORTION OF THE LEASE AREA OCCUPIED BY THE WATER TOWER

LINE TABLE		
LINE	LENGTH	BEARING
L1	0.90	N89°34'21\"/>
L2	23.00	N89°34'21\"/>
L3	21.38	N89°34'54\"/>
L4	78.25	S1°05'25\"/>
L5	14.74	S87°31'37\"/>
L6	6.28	S0°32'17\"/>
L7	28.17	S0°34'54\"/>
L8	37.16	S84°37'54\"/>
L9	22.83	S84°37'54\"/>
L10	118.42	N0°22'22\"/>



SBA COMMUNICATIONS CORPORATION
800 CONCRETE AVENUE
BOCA RATON, FL 33487-0307
PHONE 1-800-407-7483



FIELD BY: CEF
DRAWN BY: JTS/GAC
CHECKED BY: RLF

REVISIONS		
NO.	DATE	DESCRIPTION
2	08/21/24	FINAL
1	08/19/24	TITLE REVIEW
0	06/17/24	TITLE REVIEW



REUSE OF DOCUMENT
THE IDEAS & DESIGN INCORPORATED HEREON AS AN INSTRUMENT OF PROFESSIONAL SERVICE, PROPERTY OF RLF CONSULTING, LLC & USED FOR ANY OTHER PROJECT WITHOUT AUTHORIZATION OF RLF CONSULTING

PROJECT No.
2400436
SITE NAME:
352 EAST FIRST STREET
(CA24329-S)
SITE ADDRESS:
352 E 1ST ST
CALEXICO, CA 92231

SHEET TITLE:
SURVEY DETAIL

SHEET NO.
LS-2
REVISION
2

ATTACHMENT "D"
APPLICATION & PROJECT DESCRIPTION



CALEXICO *California*

WHERE CALIFORNIA AND MEXICO MEET

January 31, 2025

County of Imperial Planning and Development Services
c/o Airport Land Use Commission Secretary
801 Main Street
El Centro, CA 92243

RE: Proposed 139' Telecommunications Tower at 352 E. 1st Street, Calexico, CA

Dear Mr. Minnick:

The above-referenced project, located in the City of Calexico, requires a consistency determination with the Imperial County Airport Land Use Compatibility Plan (ALUCP).

On behalf of the City of Calexico and SBA Communications Corporation let this serve as a formal request for a consistency determination by the Imperial County Airport Land Use Commission. The required \$2,500 processing fee is enclosed herewith. The FAA Determination of No Hazard to Air Navigation for the proposed project and project plans have been shared electronically via SharePoint.

If you should need any additional information please do not hesitate to contact me at 442-252-1596.

Sincerely,

Michael Coyne
Planning & Building Director

PARENT PARCEL LEGAL DESCRIPTION (AS PROVIDED)

SITUATED IN THE CITY OF CALEXICO, COUNTY OF IMPERIAL, STATE OF CALIFORNIA:

LOTS 1, 2 AND 3 OF BLOCK 73, AND ALL OF BLOCK 74 AND 75 OF THE TOWNSITE OF CALEXICO, IN THE CITY OF CALEXICO, COUNTY OF IMPERIAL, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 911 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN DIEGO, A COPY OF WHICH BEING NORTH FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF IMPERIAL.

TOGETHER WITH THE SOUTH 20 FEET OF FIRST STREET AND THAT PORTION OF HEBER AVENUE BETWEEN BLOCKS 73 AND 74 AND LYING SOUTH OF THE NORTH LINE OF THE SOUTH 20 FEET OF 1ST STREET, ALL AS VACATED AND CLOSED TO PUBLIC USE BY RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CALEXICO.

EXCEPTING THEREFROM THE WEST 26 FEET OF SAID LOT 3, AS GRANTED TO THE UNITED STATES OF AMERICA BY DEED RECORDED JULY 24, 1951 AS INSTRUMENT NO. 8, IN BOOK 817, PAGE 478 OF OFFICIAL RECORDS.

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BEING THE SAME PROPERTY CONVEYED TO THE CITY OF CALEXICO, A MUNICIPAL CORPORATION, GRANTEE, FROM E. CARRILLO AND FRANCISCA DE CARRILLO HIS WIFE, GRANTOR, BY INDENTURE RECORDED 10/20/1910, AS BOOK 050, PAGE 206 OF THE IMPERIAL COUNTY RECORDS.

TAX ID: 058-535-001-000

LESSEE EXCLUSIVE EASEMENT AREA AND NON EXCLUSIVE ACCESS & UTILITY EASEMENT

A PORTION OF LOTS 2 AND 3 OF BLOCK 73, OFF THE TOWNSITE OF CALEXICO, IN THE CITY OF CALEXICO, COUNTY OF IMPERIAL, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 911 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN DIEGO, A COPY OF WHICH BEING NORTH FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF IMPERIAL, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 3; THENCE ALONG THE NORTH LINE OF SAID LOT NORTH 89°34'21" EAST, A DISTANCE OF 0.99 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 89°34'21" EAST, A DISTANCE OF 23.00 FEET TO THE NORTHEAST CORNER OF SAID LOT, ALSO BEING THE NORTHWEST CORNER OF LOT 2;

THENCE ALONG THE NORTH LINE OF SAID LOT 2 NORTH 89°34'54" EAST, A DISTANCE OF 21.39 FEET; THENCE DEPARTING SAID LINE SOUTH 01°05'25" EAST, A DISTANCE OF 78.05 FEET; THENCE SOUTH 87°31'37" EAST, A DISTANCE OF 14.74 FEET; THENCE SOUTH 00°32'17" WEST, A DISTANCE OF 6.29 FEET; THENCE SOUTH 00°34'54" EAST, A DISTANCE OF 29.17 FEET TO THE SOUTH LINE OF SAID LOT 2; THENCE SOUTH 84°37'54" WEST, A DISTANCE OF 37.16 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2, ALSO BEING THE SOUTHEAST CORNER OF LOT 3; THENCE ALONG THE SOUTH LINE OF SAID LOT 3 SOUTH 84°37'54" WEST, A DISTANCE OF 22.83 FEET; THENCE DEPARTING SAID LINE NORTH 00°32'22" WEST, A DISTANCE OF 119.42 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THOSE PORTIONS OF THE LEASE AREA DEDICATED TO THE BASE PLATES FOR THE TWO NORTHERNMOST LEGS FOR THE WATER TOWER.

SUBJECT TO THE AIR RIGHTS BELONGING TO THE CITY OF CALEXICO, A MUNICIPAL CORPORATION, OVER THAT PORTION OF THE LEASE AREA OCCUPIED BY THE WATER TOWER.



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2024-AWP-10713-OE

Issued Date: 11/21/2024

Clinton Papenfuss
SBA Towers
8051 Congress Avenue
Boca Raton, FL 33487

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Antenna Tower CA 24329-S
Location:	Calexico, CA
Latitude:	32-39-55.30N NAD 83
Longitude:	115-29-38.60W
Heights:	6 feet site elevation (SE) 139 feet above ground level (AGL) 145 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

Emissions from this site must be in compliance with the parameters set by collaboration between the FAA and telecommunications companies and reflected in the FAA 5G C band compatibility evaluation process (such as power, frequencies, and tilt angle). Operational use of this frequency band is not objectionable provided the Wireless Providers (WP) obtain and adhere to the parameters established by the FAA 5G C band compatibility evaluation process. **Failure to comply with this condition will void this determination of no hazard.**

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- ☒ At least 10 days prior to start of construction (7460-2, Part 1)
☒ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M Change 1.

This determination expires on 05/21/2026 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is subject to review if an interested party files a petition that is received by the FAA on or before December 21, 2024. In the event an interested party files a petition for review, it must contain a full statement of the basis upon which the petition is made. Petitions can be submitted to the Manager, Rules and Regulations Group via email at OEPetitions@faa.gov, or via mail to Federal Aviation Administration, Air Traffic Organization, Rules and Regulations Group, 5th floor, 600 Independence Ave, SW., Washington, DC 20597. FAA encourages the use of email to ensure timely processing.

This determination becomes final on December 31, 2024 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. Any questions regarding your petition, contact Rules and Regulations Group via telephone (202) 267-8783.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact

on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact Vivian Vilaro, at (847) 294-7575, or vivian.vilaro@faa.gov.
On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2024-AWP-10713-OE.

Signature Control No: 630481085-639788426

(DNH)

Julie A. Morgan

Manager, Obstruction Evaluation Group

Attachment(s)

Additional Information

Frequency Data

Map(s)

cc: FCC

AERONAUTICAL STUDY NO. 2024-AWP-10713-OE

Abbreviations

VFR - Visual Flight Rules	AGL - Above Ground Level	RWY - Runway
IFR - Instrument Flight Rules	MSL - Mean Sea Level	NM - Nautical Mile
AMSL - Above Mean Sea Level	DER- Departure End of Runway	NEH - No Effect Height

Part 77 - Title 14 Code of Federal Regulations (CFR) Part 77, Safe, Efficient Use and Preservation of the Navigable Airspace

1. LOCATION OF PROPOSED CONSTRUCTION

SBA Towers is proposing to construct an Antenna Tower (CA 24329-S) at 139 feet AGL/145 feet AMSL. The proposed structure has been identified as an obstruction under Part 77 standards. The structure would be located 1.20 nautical miles east of the Callexico International Airport (CXL) airport reference point (ARP) in Callexico, CA. CLX elevation is 5 feet MSL.

2. OBSTRUCTION STANDARDS EXCEEDED

Section 77.17(a)(3): - A height within a terminal obstacle clearance area, including an initial approach segment, a departure area, and a circling approach area, which would result in the vertical distance between any point on the object and an established minimum instrument flight altitude within that area or segment to be less than the required obstacle clearance.

Callexico Intl (CLX) Callexico, CA. Obstacle penetrates RWY 8 40:1 departure surface by 29 feet. Qualifies as a low, close-in penetration with climb gradient termination altitude of 200 feet or less above DER, requiring TAKEOFF MINIMUMS AND (OBSTACLE) DEPARTURE PROCEDURES, TAKEOFF OBSTACLE NOTES: RWY 8, Tower Antenna 4910 feet from DER, 604 feet right of centerline, 139 feet AGL/145 feet AMSL.

Section 77.19(d) - A surface longitudinally centered on the extended runway centerline and extending outward and upward from each end of the primary surface. An approach surface is applied to each end of each runway based upon the type of approach available or planned for that runway end. The proposed structure would exceed the approach surface for the existing RWY 26 by 6 feet.

3. EFFECT ON AERONAUTICAL OPERATIONS

a. The impact on arrival, departure, and en route procedures for aircraft operating under VFR follows: The VFR traffic pattern airspace (TPA) is not penetrated.

FAA Findings

There is no penetration into the VFR traffic pattern airspace.

There are no physical or electromagnetic effects on the operation of air navigation and communications facilities.

There are no effects on any airspace and routes used by the military.

b. The impact on arrival, departure, and en route procedures for aircraft operating under IFR follows: While the structure would exceed RWY 8 40:1 departure surface by the values listed above, it qualifies as a low close in penetration with a minimum climb gradient termination altitude of 200 feet or less above DER, requiring Takeoff Minimums and (Obstacle) Departure Procedures Note as stated above.

c. The impact on all planned public-use airports and aeronautical facilities follows: Study did not disclose any adverse effect on existing or proposed public-use or military airports or navigational facilities, nor would the proposed structure affect the capacity of any known existing or planned public-use or military airport.

d. The cumulative impact resulting from the proposed construction or alteration of a structure when combined with the impact of other existing or proposed structures, is not considered to be significant.

4. CIRCULATION AND COMMENTS RECEIVED

As a result of the negotiation process the sponsor requested circularization of the proposed structure. The proposal was circularized for public comment on October 4, 2024. No comments were received because of the circularization.

5. DETERMINATION - NO HAZARD TO AIR NAVIGATION

It is determined that the proposed structure would not have a substantial adverse effect on the safe and efficient use of navigable airspace by aircraft.

6. BASIS FOR DECISION

The proposal would exceed RWY 8 40:1 departure surface by 29 feet, however, the only IFR impact is to add a Note to the Take-off Minimums and (Obstacle) Departure Procedures. There are no increases to the current CXL climb gradients. The proposal would exceed the approach surface by 6 feet; however, it would not conflict with airspace required to conduct normal VFR traffic pattern operations. The VFR traffic pattern airspace is not impacted, and no other VFR issues were identified. Marking and Lighting was considered but deemed unnecessary.

7. CONDITIONS

The proponent is required to notify the FAA ten days prior to construction to add a Note to the Take-off Minimums. This can be accomplished by filing a FAA form 7460-2, Actual Construction Notice, Part I, online at <http://oeaaa.faa.gov/oeaaa>. Detailed instructions are available under the Instruction link.

Within five days after the structure reaches its greatest height, the proponent is required to file online the Supplemental Notice, FAA form 7460-2, with actual construction details, at the OE/AAA website (<https://oeaaa.faa.gov/oeaaa>). Detailed instructions are available under the Instructions link. This Supplemental Notice notification will be the source document detailing the site location, site elevation, structure height, and date structure was built for the FAA to map the structure on aeronautical charts and update the national database.

The FAA Spectrum Engineering Office has identified the following requirements:

At a distance of 12.6 nautical miles from the site emissions from the 2496-2690 MHz transmitters must be less than -155 dBm in the 2700-3100 MHz Surveillance Radar frequency band.

For any questions on this requirement, contact Mr. John Hepsen FAA Spectrum Engineering at 480-775- 1026 or email: john.hepsen@faa.gov.

BASIS FOR DECISION

Part 77 authorizes the FAA to evaluate a structure or object's potential electromagnetic effects on air navigation, communication facilities, and other surveillance systems. It also authorizes study of impact on arrival, departure, and en route procedures for aircraft operating under visual or instrument flight rules, as well as the impact on airport traffic capacity at existing public use airports. Broadcast in the 3.7 to 3.98 GHz frequency

(5G C band) currently causes errors in certain aircraft radio altimeters and the FAA has determined they cannot be relied upon to perform their intended function when experiencing interference from wireless broadband operations in the 5G C band. The FAA has adopted Airworthiness Directives for all transport and commuter category aircraft equipped with radio altimeters that prohibit certain operations when in the presence of 5G C band.

This determination of no hazard is based upon those mitigations implemented by the FAA and operators of transport and commuter category aircraft, and helicopters operating in the vicinity of your proposed location. It is also based on telecommunication industry and FAA collaboration on acceptable power levels and other parameters as reflected in the FAA 5G C band evaluation process.

The FAA 5G C band compatibility evaluation is a data analytics system used by FAA to evaluate operational hazards related to aircraft design. The FAA 5G C band compatibility evaluation process refers to the process in which the telecommunication companies and the FAA have set parameters, such as power output, locations, frequencies, and tilt angles for antenna that mitigate the hazard to aviation. As the telecommunication companies and FAA refine the tools and methodology, the allowable frequencies and power levels may change in the FAA 5G C band compatibility evaluation process. Therefore, your proposal will not have a substantial adverse effect on the safe and efficient use of the navigable airspace by aircraft provided the equipment and emissions are in compliance with the parameters established through the FAA 5G C band compatibility evaluation process.

Any future changes that are not consistent with the parameters listed in the FAA 5G C band compatibility evaluation process will void this determination of no hazard.

Frequency Data for ASN 2024-AWP-10713-OF

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	2000	W
614	698	MHz	1000	W
698	806	MHz	1000	W
806	824	MHz	500	W
806	901	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W
3700	3980	MHz	3280	W
3700	3980	MHz	1640	W







9976 Peak Lookout Street, Las Vegas, Nevada, 89178
Phone: 702-614-4431; Fax: 702-614-4171
www.aceenvironmentalllc.com

National Environmental Policy Act (NEPA) Report



SBA Wireless Site CA24329-S
352 East First Street
Calexico, Imperial County, California 92231

ACE Project No. 24-015-127-271

January 11, 2025

Prepared for:
SBA Towers X, LLC
8051 Congress Avenue
Boca Raton, Florida 33487

TABLE OF CONTENTS

1.0	INTRODUCTION	1-1
2.0	SITE LOCATION AND DESCRIPTION	2-1
2.1	Site Location and Description	2-1
3.0	NEPA SPECIAL INTEREST ITEMS	3-1
3.1	Officially Designated Wilderness Area	3-1
3.2	Officially Designated Wildlife Preserves	3-1
3.3	Listed, Threatened, Or Endangered Species and Designated Critical Habitats	3-2
3.4	Listed Or Eligible Historic Places	3-2
3.5	Indian Religious Sites	3-3
3.6	Flood Plain	3-4
3.7	Surface Features	3-4
3.8	High Intensity White Lights.....	3-5
3.9	Radio Frequency Radiation (RF)	3-5
3.10	Towers Over 450 Feet in Height	3-5
4.0	CONCLUSIONS AND RECOMMENDATIONS.....	4-6
5.0	LIMITATIONS AND SIGNATURES	5-1
5.1	Limitations	5-1
5.2	Signatures	5-1

APPENDIX 1 – CLIENT DRAWINGS, 1A/SURVEY, AND PHOTOGRAPHS

APPENDIX 2 – SHPO COVER LETTER, FORM 620, NEWSPAPER AFFIDAVIT, SHPO RESPONSE

APPENDIX 3 - TCNS INITIATION EMAIL, NAHC RESPONSE, TRIBAL RESPONSES AND TRIBAL COMMUNICATIONS, TCNS CLEARANCE EMAIL

APPENDIX 4 – NEPA CHECKLIST

Illustrations

List of Figures

Figure 1	Site Location Map	2-1
Figure 2	Topographic Map	3-1
Figure 3	FEMA Map.....	3-4
Figure 4	Wetlands Map.....	3-5

1.0 INTRODUCTION

ACE Environmental, LLC (ACE) has completed this National Environmental Policy Act (NEPA) checklist letter report of SBA site number **CA24329-S** (herein referred to as the site).

This report discusses the Federal Communications Commission (FCC) special interest items as outlined in Title 47 of the Code of Federal Regulations (CFR) Section 1.1307 (a) (1) through (10), for the project. In accordance with 47 CFR Section 1.1307 (a), an evaluation was made to determine whether any of the listed FCC special interest items would be significantly affected if a tower structure and/or antenna and associated equipment control cabinets were constructed at the site location. In the event that the site affects one of the items, the FCC requires that an Environmental Assessment (EA) be prepared regarding that particular item.

2.0 SITE LOCATION AND DESCRIPTION

2.1 SITE LOCATION AND DESCRIPTION

The site consists of an existing 141.7' water tower on a commercial parcel of land. SBA proposes to install a new 137' (139' total height) self-support lattice tower immediately north of the water tower with carrier antennas, mounts, and cables. The existing lease area will be expanded, a new 93' ice bridge constructed, a chain link fence and existing building foundation removed, fiber lines rerouted as required, and the curb improved. Existing telecommunications equipment on the water tower will be relocated. Surrounding properties appear to be primarily commercial in use.

A site location map is provided below.

Figure 1 Site Location Map



Client-provided diagrams, 1A/Survey, and site photographs (from the Cultural report) are included in Appendix 1.

3.0 NEPA SPECIAL INTEREST ITEMS

3.1 OFFICIALLY DESIGNATED WILDERNESS AREA

Designated Wilderness Area information for the site area was reviewed on the National Wilderness Preservation System website (<http://www.wilderness.net>). According to the information reviewed, no wilderness areas have been identified in the site area.

The USGS *Calexico, California* (1957) Quadrangle topographic map was reviewed online from www.earthpoint.us. According to the information reviewed from the map, no wilderness areas have been identified in the site area. A copy of the map generated is provided below.

Figure 2 Topographic Map



3.2 OFFICIALLY DESIGNATED WILDLIFE PRESERVES

Designated Wildlife Preserve Area information for the site area was reviewed on the United States Fish and Wildlife Service (USFWS) National Wildlife Refuge System website (<http://pacific.fws.gov/>). According to the information reviewed, no wildlife preserves have been identified in the site area.

The USGS *Calexico, California* Quadrangle topographic map was reviewed online from www.earthpoint.us. According to the information reviewed from the map, no wildlife preserves have been identified in the site area. A copy of the map generated was provided above.

3.3 LISTED, THREATED, OR ENDANGERED SPECIES AND DESIGNATED CRITICAL HABITATS

A *General Biological Evaluation*, dated December 10, 2022, was prepared for the site (previously submitted under separate cover). The results of the biological report indicated that the adjacent tower and nearby vegetation could be used by nesting birds during the breeding season (generally considered February 15 – August 30). If an active nest is encountered during the construction or future maintenance activities, work should stop immediately until a biologist can determine the status of the nest and when work can proceed without risking violation to state or federal laws.

Therefore, the project is not anticipated to affect endangered, threatened, or special status species or critical habitats *as long as contractors are aware of the potential for nesting birds, especially between February 15 and August 30.*

3.4 LISTED OR ELIGIBLE HISTORIC PLACES

Section 106 of the National Historic Preservation Act of 1966 (NHPA) and its implementing regulations, “Protection of Historic Properties” (36 CFR Part 800), require federal agencies to take into account the effects of their undertakings on historic properties.

A *Cultural Resource Research and Field Survey* report dated November 17, 2024, was performed for the site (previously submitted under separate cover). The cultural report recommended a finding of No Historic Properties for the Direct-Impact APE and No Effect on Historic Properties for the Indirect-Impact APE.

ACE submitted a package to the California (CA) State Historic Preservation Office (SHPO) on 11/19/24 for this site. One box was checked on the SHPO cover letter for this site (see copy of SHPO cover letter in Appendix 2). A copy of Form 620 is included in Appendix 2.

In addition, as a part of the SHPO submittal process, ACE posted a notice in the Imperial Valley Weekly/Calexico Chronical newspaper as an invitation for the public to comment on this site. No comments have been received as a result of the newspaper notice. A copy of the Affidavit of Publication in the newspaper for this site is also included in Appendix 2.

In a response dated December 31, 2024, the SHPO responded that they concur that ‘the undertaking as described will not affect historic properties’ A copy of the response received from the California SHPO is also included in Appendix 2.

Based on the results of the cultural report, the lack of response from the public via the newspaper notice, and the SHPO response, the project is not anticipated to have an adverse effect on historic places.

3.5 INDIAN RELIGIOUS SITES

Section 106 of the NHPA and its implementing regulations, “Protection of Historic Properties” (36 CFR Part 800), require consultation with Native American tribal groups regarding proposed projects and potential impacts to Native American religious sites.

ACE submitted to the Tower Construction Notification System (TCNS) which notifies the Federal Native American Indian Tribes. In addition, ACE consulted with the Native American Heritage Commission (NAHC) which lists the State Tribes. A confirmation of the TCNS notification (NOO) and the response from the NAHC for this site are provided in Appendix 3.

The Campo Band of Mission Indians has requested consultation for the project (which ACE sent the drawings and cultural report), while the Viejas Band of Kumeyaay Indians (Viejas) has requested that that sacred sites be avoided with adequate buffer zones; all NEPA/CEQA/NAGPRA/CALNAGPRA laws be followed as appropriate, and to be immediately contacted on any changes or inadvertent discoveries.

No other Tribe consulted with expressed a specific concern with the proposed site. Copies of all the responses are also included in Appendix 3. In addition, follow-up letters were sent to the tribes that did not respond. Copies of those letters are also included in Appendix 3.

In addition, the TCNS process will be completed and the Client’s ‘obligations under Section IV of the NPA’ were complete as of 1/10/25, according to an email from the FCC dated 12/26/24. A copy of the TCNS ‘clearance’ email is also included in Appendix 3.

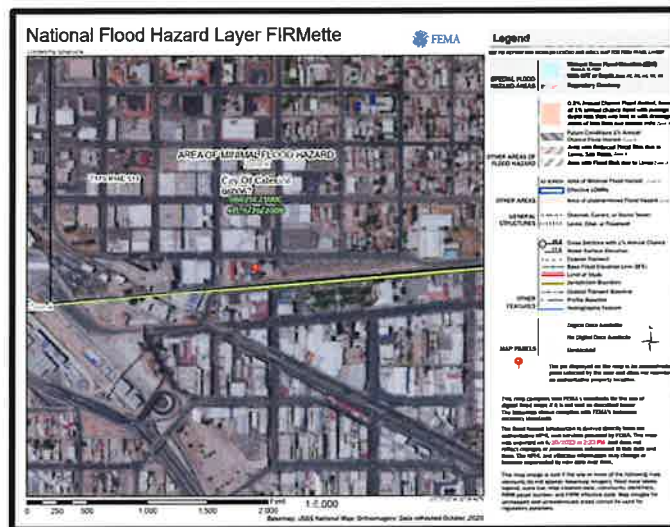
Therefore, based on the Tribal responses received, the project is not anticipated to have a negative effect on archeological or Native American resources or Indian religious sites *as long as Campo is consulted (which ACE sent the drawings and cultural report), and sacred sites are avoided with adequate buffer zones; all NEPA/CEQA/NAGPRA/CALNAGPRA laws be followed as appropriate, and to be immediately contacted on any changes or inadvertent discoveries, per the request of Campo and Viejas, respectively.*

It is worth noting that during the previous Section 106 process in 2023 for the prior proposed location/design for this site that the Band of the Kumeyaay Nation (Sycuan) had requested that a qualified Kumeyaay monitor be present during surveys, site visits, and ground disturbing activities.

3.6 FLOOD PLAIN

Flood zone information was obtained from the FEMA Federal Emergency Management Agency (FEMA) website (www.fema.gov) for the subject parcel. According to the FEMA website, the site is located outside of the 100-year floodzone. A copy of the map generated is provided on the following page.

Figure 3 FEMA Map



3.7 SURFACE FEATURES

Wetland information for the site area was reviewed on the United States Fish & Wildlife National Wetlands Inventory (NWI) website, which is updated regularly. According to the information reviewed, no wetlands have been identified in the site area. Additionally, the site is not located on or adjacent to natural surface navigable waters as shown on the USGS *Calexico, CA* quadrangle map. A copy of the map generated is provided below.

Figure 4 Wetlands Map



3.8 HIGH INTENSITY WHITE LIGHTS

According to the site plans provided to ACE by the Client dated October 8, 2024, (included in Appendix 1), high intensity white lights used for (tower) illumination are not planned to be utilized for the site.

3.9 RADIO FREQUENCY RADIATION (RF)

To confirm the site will not result in human exposure to radiation in excess of the applicable safety standards, ACE assumes the FCC-licensed carrier is compliant with this regulation, as it is their responsibility.

3.10 TOWERS OVER 450 FEET IN HEIGHT

ACE reviewed site plans provided to ACE by the Client and/or Client-provided information to confirm that the project does not include a tower that that will be over 450 feet in height above ground level and will not involve either new tower construction, tower modification or replacement constituting a substantial increase in size, or certain changes in lighting, thereby requiring that the EA address the proposed project's effects on migratory birds. A review of the site plans and/or Client-provided information indicated that the project does NOT include a tower over 450 feet in height.

4.0 CONCLUSIONS AND RECOMMENDATIONS

Based on the review of readily available information regarding FCC issues, the site will not affect the FCC special interest items as outlined in 47 CFR Section 1.1307 (a)(1) through (10) except for the following two notations. The project demonstrates no “unmitigated significant adverse impact” on the environment except for the following two notations:

- The project is not anticipated to affect endangered, threatened, or special status species or critical habitats *as long as contractors are aware of the potential for nesting birds, especially between February 15 and August 30.*
- The project is not anticipated to have a negative effect on archeological or Native American resources or Indian religious sites *as long as Campo is consulted (which ACE sent the drawings and cultural report), and sacred sites are avoided with adequate buffer zones; all NEPA/CEQA/NAGPRA/CALNAGPRA laws be followed as appropriate, and to be immediately contacted on any changes or inadvertent discoveries, per the request of Campo and Viejas, respectively.*

It is worth noting that during the previous Section 106 process in 2023 for the prior proposed location/design for this site that the Band of the Kumeyaay Nation (Sycuan) had requested that a qualified Kumeyaay monitor be present during surveys, site visits, and ground disturbing activities.

Thus, the preparation of an EA is not warranted for this site. See the attached NEPA checklist in Appendix 4.

5.0 LIMITATIONS AND SIGNATURES

5.1 LIMITATIONS

ACE's professional services have been performed, our findings obtained, and our recommendations prepared in accordance with standard principles and practices in the fields of environmental science and engineering. This statement is in lieu of other statements either expressed or implied.

This report is intended for the sole use of SBA and may not be used or relied upon by any other party without the written consent of SBA and ACE. The scope of services performed in this evaluation may not be appropriate to satisfy the needs of other users and use or re-use of this document or the findings, conclusions, or recommendations is at the risk of said user.

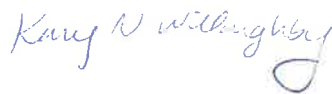
Please note that should the development at the site, as stated in this report, be altered, reevaluation of this report and its applicability should be completed by ACE.

5.2 SIGNATURES

Sincerely,
ACE Environmental, LLC



Annette Grochowski
Compliance Project Manager



Kerry N. Willoughby, CEM
Principal
EM #1701, Exp: 10/07/25

APPENDIX 1
CLIENT DRAWINGS, 1A/SURVEY, AND PHOTOGRAPHS

SITE OVERVIEW

TYPE OF OCCUPANCY: TELECOMMUNICATIONS
 PROJECT TYPE: DROP & SWAP
 TOWER TYPE: SELF-SUPPORT
 TOWER HEIGHT: 137'-1" +/-
 TOWER LATITUDE: 32°39'55.3391"N (32.665372°)
 TOWER LONGITUDE: 115°29'38.5004"W (-115.49402789°)
 GROUND ELEVATION: 57'-FT +/- AMSL (NAVD 83)
 ZONING JURISDICTION: CALEXICO COUNTY
 COUNTY: CALEXICO
 PARCEL ID: 05b-535-001
 PARCEL AREA: 2.14
 ZONED: COMMERCIAL SPECIALTY
 TOWER LEASE AREA: 0.133 ACRES (5810 SF)
 POWER COMPANY: TBD
 TELCO/FIBER COMPANY: TBD

PROJECT CONTACT DIRECTORY

LAND OWNER: CITY OF CALEXICO
 8051 CONGRESS AVENUE
 BOCA RATON, FL 33487
 CONTACT: GREG HINES
 PREPARED FOR: SBA COMMUNICATIONS CORPORATION
 8051 CONGRESS AVENUE
 BOCA RATON, FL 33487
 CONTACT: GREG HINES
 SITE ENGINEER: DELTA OAKS GROUP, PLLC
 4904 PROFESSIONAL COURT
 RALEIGH, NC 27609
 CONTACT: RHETT BUTLER, PE
 (919) 342-8247

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

- | | |
|--|---|
| 1. ANSI/TIA/EIA-222-G | 8. 2021 INTERNATIONAL MECHANICAL CODE |
| 2. LOCAL BUILDING CODE | 9. 2018 INTERNATIONAL FUEL GAS CODE |
| 3. CITY/COUNTY ORDINANCES | 10. 2018 INTERNATIONAL ENERGY CONSERVATION CODE |
| 4. 2021 INTERNATIONAL RESIDENTIAL CODE | 11. 2020 NATIONAL ELECTRICAL CODE |
| 5. 2021 INTERNATIONAL BUILDING CODE | |
| 6. 2021 INTERNATIONAL FIRE CODE | |
| 7. 2021 INTERNATIONAL PLUMBING CODE | |



CALL DIG ALERT
3 DAYS BEFORE YOU DIG
811 OR 1-800-227-2600

GENERAL NOTES

- THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION, THEREFORE HANDICAP ACCESS IS NOT REQUIRED.
- A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE (APPROX. 1 TRIP PER MONTH).
- THIS PROJECT WILL NOT RESULT IN SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE.
- NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED.
- NO COMMERCIAL SIGNAGE IS PROPOSED.

SHEET INDEX

SHEET NO.	DESCRIPTION	SHEET NO.	DESCRIPTION
T-1	TITLE SHEET		
C-1	OVERALL PARCEL VIEW		
C-2	SITE PLAN		
C-3	EXISTING COMPOUND LAYOUT		
C-3.1	PROPOSED COMPOUND LAYOUT		
C-4	TOWER PROFILE		
C-5	CIVIL DETAILS		
C-6	CIVIL DETAILS		
C-7	CIVIL DETAILS		
G-1	GROUNDING PLAN		
G-2	GROUNDING DETAILS		
G-3	GROUNDING DETAILS		
GN-1	GENERAL NOTES		
LS-1	SURVEY SHEET 1		
LS-2	SURVEY SHEET 2		

CONSTRUCTION DRAWINGS

PROPOSED 137-FT SELF-SUPPORT



SBA COMMUNICATIONS CORPORATION
 8051 CONGRESS AVENUE
 BOCA RATON, FL 33487

SITE NAME

352 EAST FIRST STREET

SITE ID

CA24329-S

SITE COORDINATES

32°39'55.3391"N, 115°29'38.5004"W

SITE ADDRESS

352 E 1ST ST
 CALEXICO, CA 92231

VICINITY MAP



LOCAL MAP



DIRECTIONS

FROM CALEXICO INTERNATIONAL AIRPORT:

HEAD SOUTH TOWARD ANZA RD 82 FT. TURN LEFT AT THE 1ST CROSS STREET ONTO ANZA RD 0.2 MI. CONTINUE ONTO W 2ND ST 0.8 MI. TURN RIGHT ONTO HEBER AVE 390 FT. TURN RIGHT ONTO E 1ST ST. DESTINATION WILL BE ON THE LEFT

PREPARED FOR:



8051 CONGRESS AVE.
 BOCA RATON, FL 33487
 OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
 4904 PROFESSIONAL COURT
 RALEIGH, NC 27609
 PHONE: (919) 342-8247
 WWW.DELTAOAKSGROUP.COM

PRELIMINARY

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY

SITE NAME:

352 EAST FIRST STREET

SITE ADDRESS:

352 E 1ST ST,
 CALEXICO, CA 92231

SITE ID:

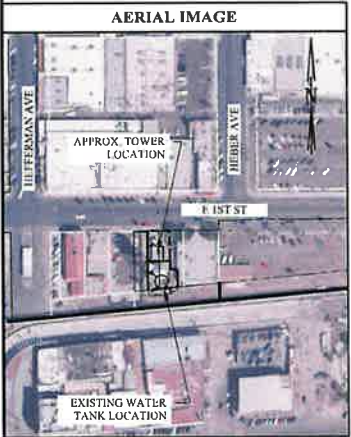
CA24329-S

SHEET TITLE

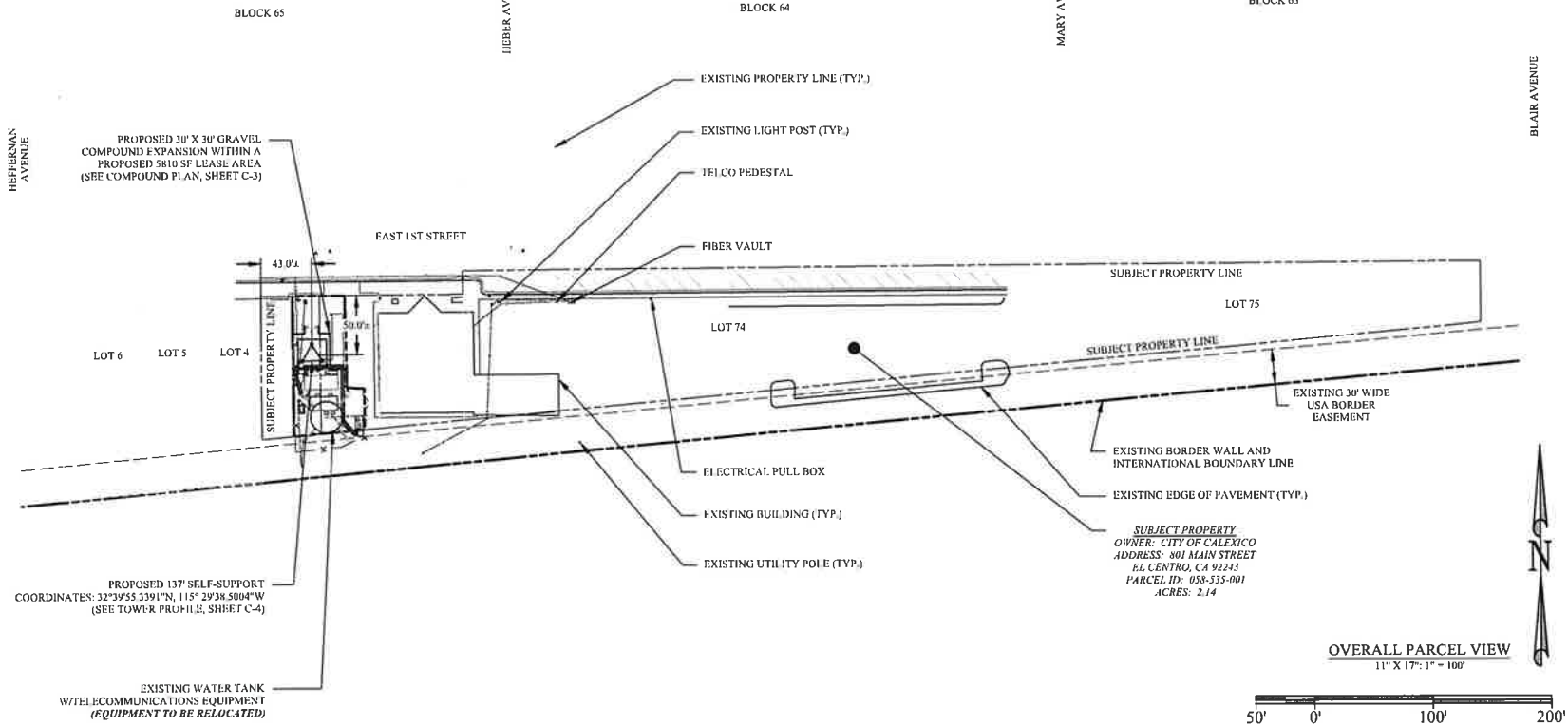
TITLE SHEET

SHEET NUMBER

T-1



SITE DATA TABLE	
TOWER LEASE AREA:	0.133 ACRES (5810 SF)
PARCEL AREA:	2.14 ACRES
ZONED:	COMMERCIAL SPECIALTY
PROPOSED USE:	137-FT SELF-SUPPORT TELECOMMUNICATIONS FACILITY



PREPARED FOR:

8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 467-7483

PREPARED BY:

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4904 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM

PRELIMINARY

SUBMITTALS		
DATE	DESCRIPTION	REV/ISSUED BY

SITE NAME:
352 EAST FIRST STREET

SITE ADDRESS:
352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:
CA24329-S

SHEET TITLE
OVERALL PARCEL VIEW

SHEET NUMBER
C-1

LEGEND

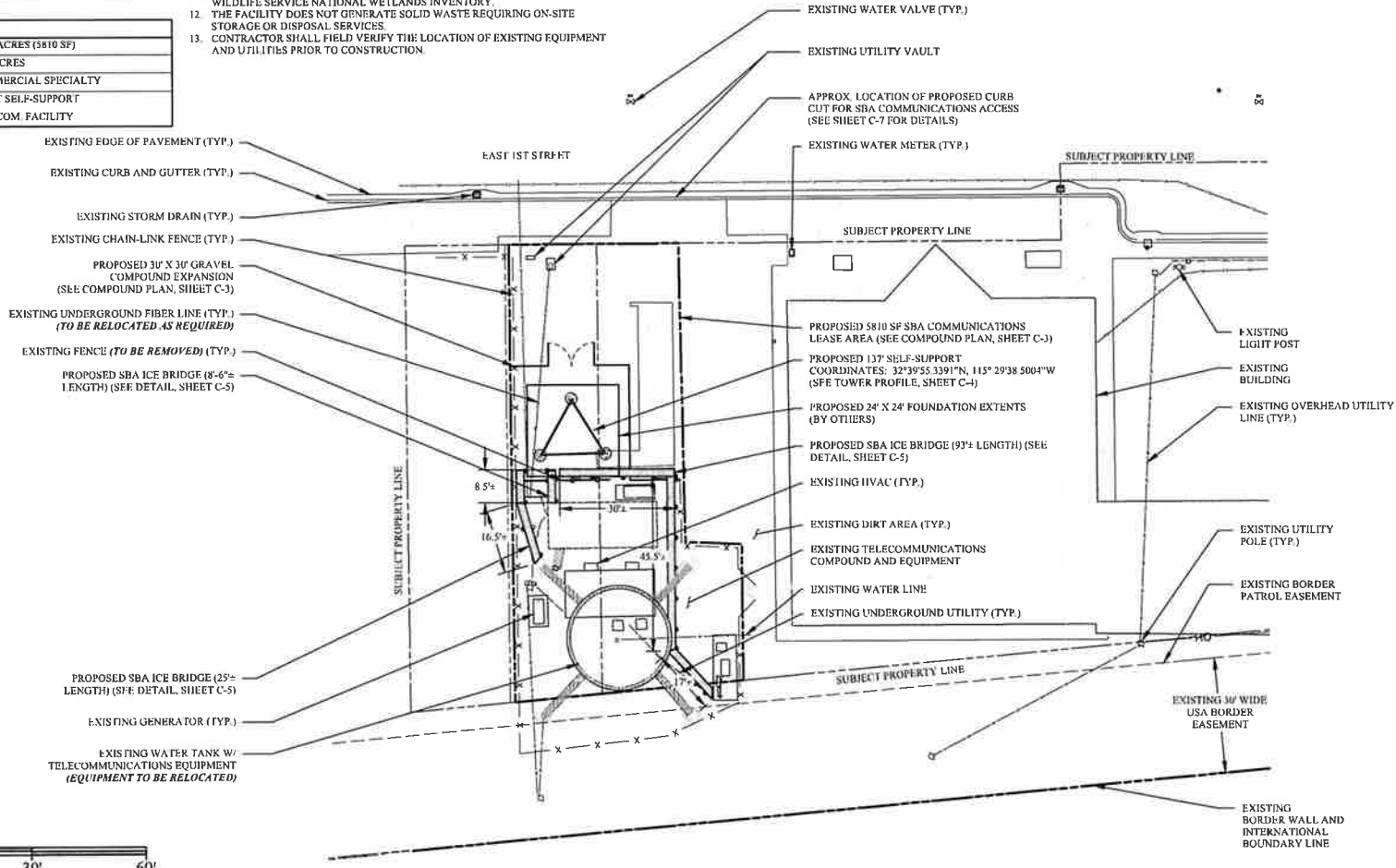
---	PROPERTY LINE/ROW
---	EXISTING EASEMENT
---	EXISTING LEASE AREA
-x-x-	EXISTING FENCE
-x-x-	PROPOSED FENCE
---	ROADWAY CENTERLINE
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT
OH	OVERHEAD UTILITY
---	EXISTING CONTOUR (MINOR)
---	EXISTING CONTOUR (MAJOR)
670.20	PROPOSED SPOT ELEV
---	EXISTING SPOT ELEV

NOTES

- SEE GENERAL NOTES ON SHEET C-1.
- EXISTING TOPOGRAPHIC, UTILITY, PLANIMETRIC, AND BOUNDARY INFORMATION IS TAKEN FROM A SURVEY DRAWING TITLED "2400436.352 EAST FIRST STREET (CA24329-S)-" BY RLT CONSULTING AND DATED 8/21/24.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE PROPOSED EQUIPMENT & TOWER AREA.
- AUTHORIZATION FOR WORK WITHIN PUBLIC R.O.W. SHALL BE OBTAINED BY THE CONTRACTOR.
- EROSION CONTROL MEASURES SHALL BE INSTALLED IN CONFORMANCE WITH LOCAL, COUNTY, AND STATE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
- THE SITE WILL GENERATE APPROX. 1 TRIP PER MONTH BY TECHNICIANS PERFORMING ROUTINE MAINTENANCE.
- THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION. THERE IS NO HANDICAP ACCESS REQUIRED.
- THE FACILITY DOES NOT REQUIRE WATER OR SANITARY SEWER SERVICE.
- THE PROPOSED TOWER LEASE AREA IS LOCATED IN "ZONE X" PER FHMA FIRM #6025C2100C, WITH EFFECTIVE DATE OF SEPTEMBER 26, 2008.
- THERE ARE NO WETLANDS WITHIN THE PROJECT AREA PER US FISH AND WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY.
- THE FACILITY DOES NOT GENERATE SOLID WASTE REQUIRING ON-SITE STORAGE OR DISPOSAL SERVICES.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING EQUIPMENT AND UTILITIES PRIOR TO CONSTRUCTION.

SITE DATA TABLE

TOWER LEASE AREA:	0.133 ACRES (5810 SF)
PARCEL AREA:	2.14 ACRES
ZONED:	COMMERCIAL SPECIALTY
PROPOSED USE:	137-FT SELF-SUPPORT TELECOM. FACILITY



SITE PLAN

1" = 17'; 1" = 30'



PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM

PRELIMINARY

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY

SITE NAME:

352 EAST 1ST STREET

SITE ADDRESS:

352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:

CA24329-S

SHEET TITLE

SITE PLAN

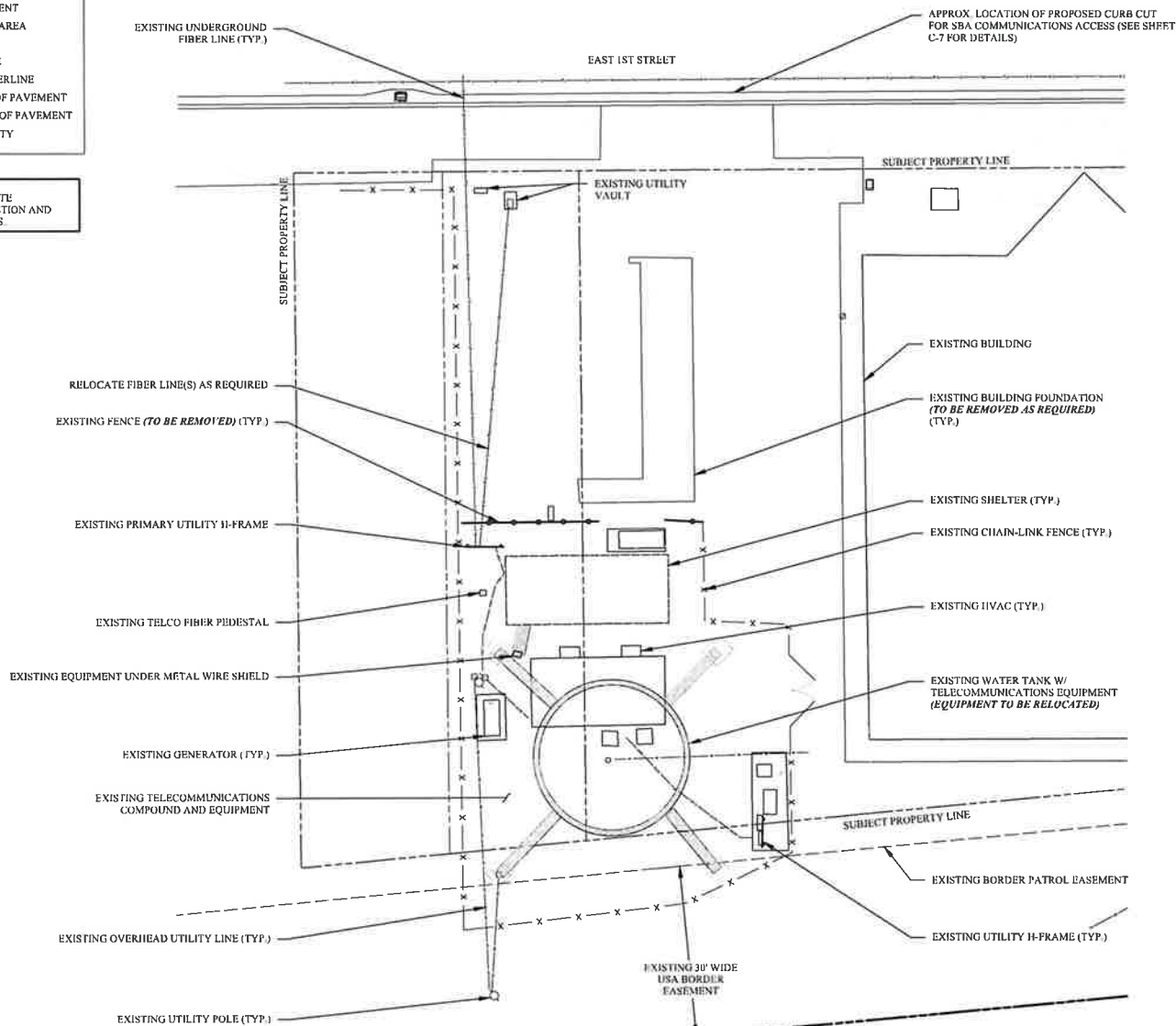
SHEET NUMBER

C-2

LEGEND

- PROPERTY LINE/ROW
- EXISTING EASEMENT
- EXISTING LEASE AREA
- EXISTING FENCE
- PROPOSED FENCE
- ROADWAY CENTERLINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- OH OVERHEAD UTILITY

NOTE:
CONTRACTOR SHALL VERIFY EXISTING SITE
CONDITIONS PRIOR TO TOWER CONSTRUCTION AND
NOTIFY ENGINEER IF ANY DISCREPANCIES.



COMPOUND LAYOUT

11" X 17": 1" = 20'



PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (818) 342-8247
WWW.DELTAOAKSGROUP.COM

PRELIMINARY

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY

SITE NAME:
352 EAST FIRST STREET

SITE ADDRESS:
352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:
CA24329-S

SHEET TITLE
EXISTING COMPOUND LAYOUT

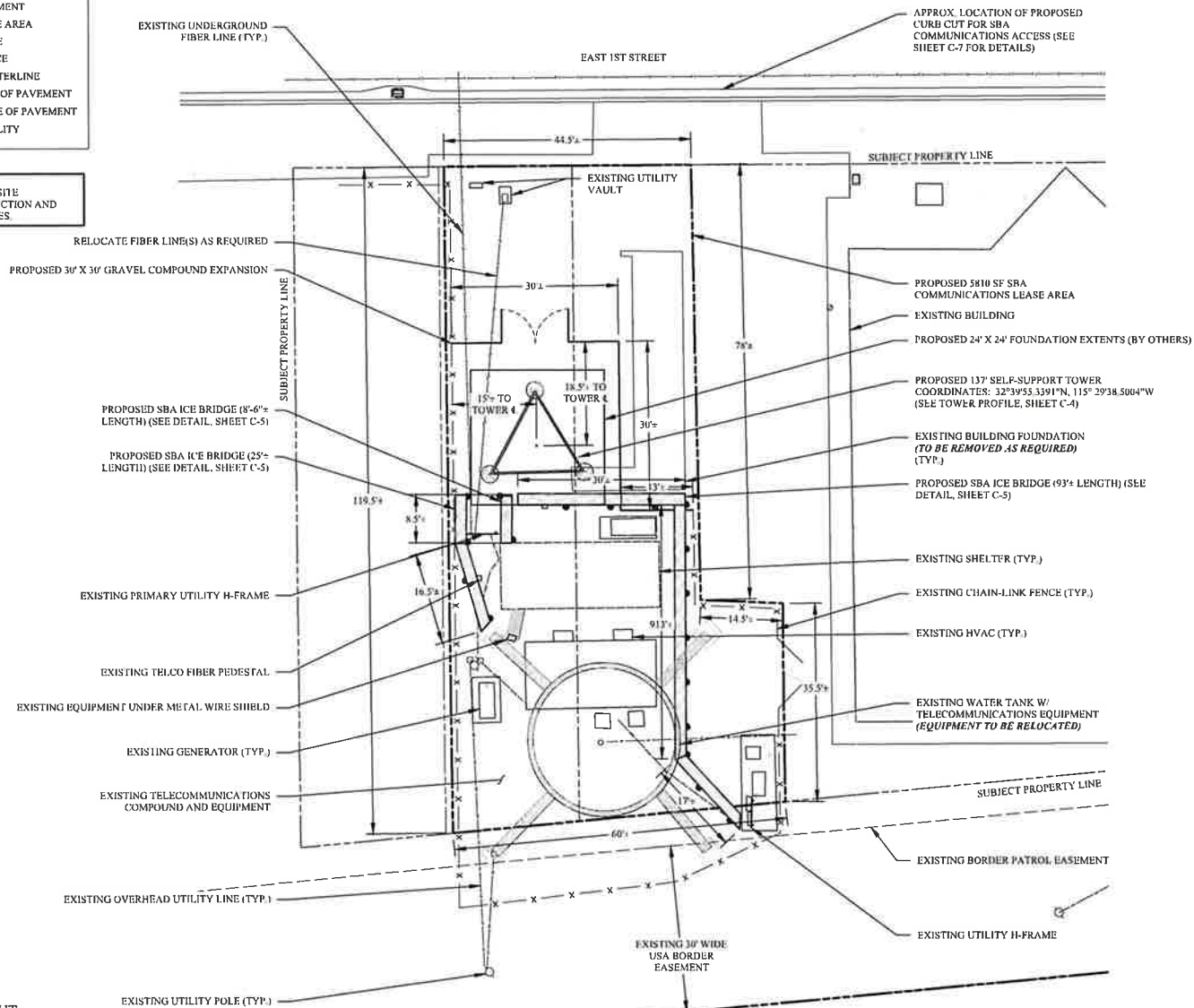
SHEET NUMBER

C-3

LEGEND

- — — — — PROPERTY LINE/ROW
- - - - - EXISTING EASEMENT
- - - - - EXISTING LEASE AREA
- x - x - EXISTING FENCE
- x - x - PROPOSED FENCE
- - - - - ROADWAY CENTERLINE
- - - - - EXISTING EDGE OF PAVEMENT
- - - - - PROPOSED EDGE OF PAVEMENT
- OH - OVERHEAD UTILITY

NOTE
CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS PRIOR TO TOWER CONSTRUCTION AND NOTIFY ENGINEER IF ANY DISCREPANCIES.



COMPOUND LAYOUT

11" X 17" = 1" = 20'



PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (819) 342-8247
WWW.DELTAOAKSGROUP.COM

PRELIMINARY

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY

SITE NAME:
352 EAST FIRST STREET

SITE ADDRESS:
352 E 1ST ST,
CALEXICO, CA 92231

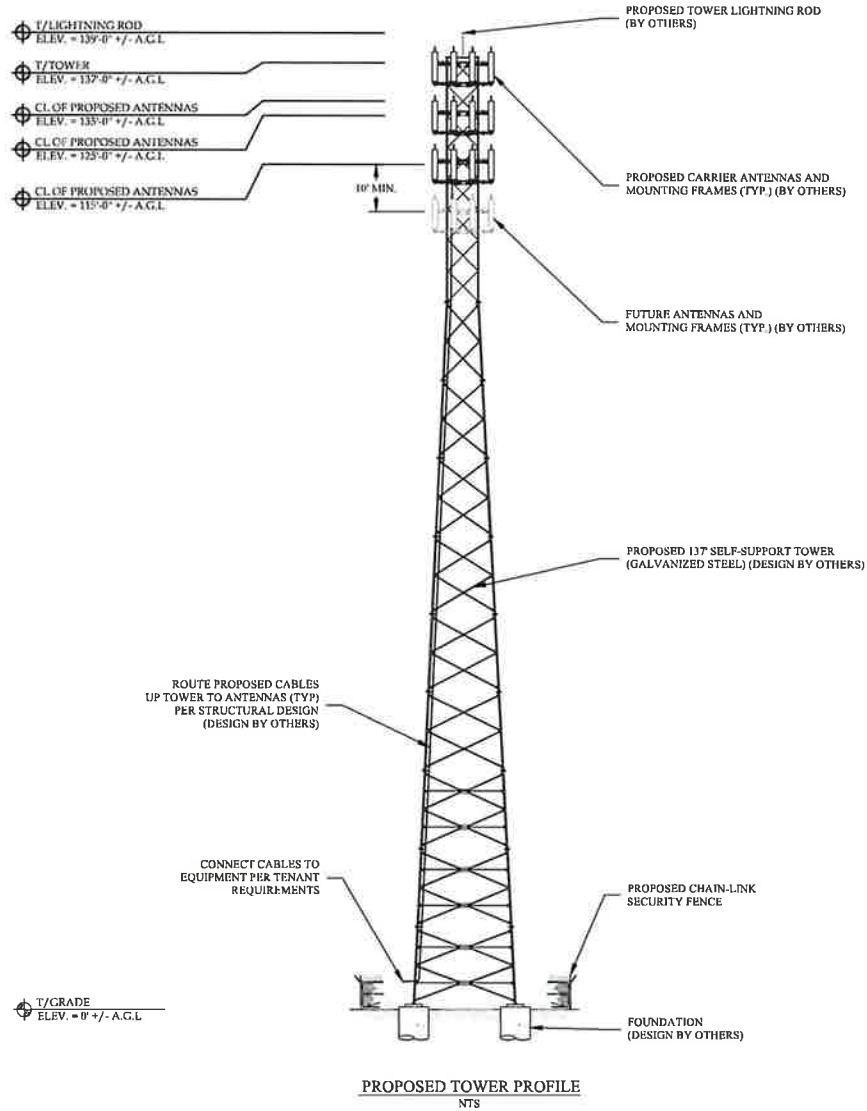
SITE ID:
CA24329-S

SHEET TITLE
PROPOSED COMPOUND
LAYOUT

SHEET NUMBER
C-3.1

NOTES:

1. TOWER/ANTENNA MOUNT DESIGN BY OTHERS. NO WORK SHALL COMMENCE WITHOUT AN APPROVED TOWER/ANTENNA MOUNT STRUCTURAL ANALYSIS REPORT SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER UNDER SEPARATE COVER.
2. ALL PROPOSED CABLES SHALL BE ROUTED IN ACCORDANCE WITH THE APPROVED STRUCTURAL ANALYSIS AND ROUTED SUCH THAT ALL CABLES, WIRING, AND SIMILAR ATTACHMENTS ARE CONTAINED WITHIN THE MONOPOLE'S STRUCTURE.



PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM

PRELIMINARY

DATE	DESCRIPTION	REV	ISSUED BY

DATE	DESCRIPTION	REV	ISSUED BY

DATE	DESCRIPTION	REV	ISSUED BY

SITE NAME:
352 EAST FIRST STREET

SITE ADDRESS:
352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:
CA24329-S

SHEET TITLE
TOWER PROFILE

SHEET NUMBER
C-4

1-A ACCURACY CERTIFICATION



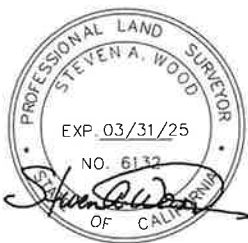
GEOGRAPHIC COORDINATES AT CENTER OF PROPOSED TOWER

DATE: 08/05/2024
RE: CA24329-S
352 EAST FIRST STREET
CALEXICO, CA 92231

LATITUDE:	(NAD 83) 32°39'55.299"N 32.665361	(NAD 27) 32°39'55.086"N 32.665301
LONGITUDE:	115°29'38.604"W 115.494057	115°29'35.625"W 115.493229
GROUND ELEVATION:	(NAVD 88) 5.7 FEET	(NGVD 29) 3.4 FEET

SOURCE: ELEVATIONS SHOWN HEREON OR BASED ON NAVD 88 VERTICAL DATUM AS DERIVED UTILIZING REFERENCE NETWORK RTK GPS CORRECTIONS.

THE HORIZONTAL ACCURACY (NAD83) OF THE LATITUDE AND LONGITUDE AT THE CENTER OF EACH SECTOR FALLS WITHIN FIFTEEN (15) FEET. THE ELEVATIONS (NAVD88) OF THE GROUND AND FIXTURES FALL WITHIN THREE (3) FEET. THE MEASURED HEIGHTS (A.G.L.) ARE WITHIN +/- ONE (1) FOOT VERTICALLY.



LAND SURVEY • MAPPING SOLUTIONS
1214 N. STADEM DR. • TEMPE AZ 85281
WWW.RLFCONSULTING.COM • 480-445-0180

Attachment 2: Photographs



Photograph 1: Overview of Direct-Impact APE / proposed Project in foreground, Calexico Water Tank and border fence in background, view to south



Photograph 2: View over Direct-Impact APE / proposed Project, U.S. Inspection Station rear elevation in background, view to west



Photograph 3: View over Direct-Impact APE / proposed Project, 1st Street in background, view to north



Photograph 4: View from Direct-Impact APE / proposed Project, vacant commercial building in background, view to east

APPENDIX 2
SHPO COVER LETTER
FORM 620
NEWSPAPER AFFIDAVIT
SHPO REPOSE



DEPARTMENT OF PARKS AND RECREATION
OFFICE OF HISTORIC PRESERVATION

Armando Quintero,
Director

Julianne Polanco, State Historic Preservation Officer
1725 23rd Street, Suite 100, Sacramento, CA 95816-7100
Telephone: (916) 445-7000 FAX: (916) 445-7053
calshpo.ohp@parks.ca.gov www.ohp.parks.ca.gov

Dear FCC Applicant:

Section 106 FCC submissions will not be accepted unless this cover sheet is completed and attached.

Project Name East 1st Street Calexico Cell (CA24329-S)
Project Address 352 East 1st Street, Calexico, CA 92231

Based on the information provided on the accompanying FCC Form 620 or Form 621, and the documentation submitted pursuant to the *First Amendment To The Nationwide Programmatic Agreement For The Collocation Of Wireless Antennas*, the following information applies to this project:

<input checked="" type="checkbox"/>	There are buildings or structures over 45 years of age within this project's direct/indirect area of potential effect (APE).
<input type="checkbox"/>	There is an archeological site located within this project's direct APE.
<input type="checkbox"/>	A qualified archeologist has determined that the proposed project area is considered moderately to highly sensitive for archeological resources.

If the above boxes are blank, there are no historic properties within the direct or indirect project area. Therefore, pursuant to Stipulation VII.B.2 of the *Nationwide Programmatic Agreement for Review of Effects on Historic Properties for Certain Undertakings Approved by the Federal Communications Commission* as quoted below, **your Section 106 responsibilities are complete:**

If the SHPO/THPO does not provide written notice to the Applicant that it agrees or disagrees with the Applicant's determination of No Historic Properties Affected within 30 days following receipt of a complete Submission Packet, it is deemed that no Historic Properties Exist within the APE or the Undertaking will have no effect on Historic Properties. The Section 106 process is then complete and the Applicant may proceed with the project, unless further processing for reasons other than Section 106 is required.

☐ Yes, this submission contains an eligibility determination requiring SHPO concurrence. ☒ Yes, this submission contains tribal response.

This project will: Not ☒ Not Adversely ☐ Adversely ☐ affect Historic Properties.
The qualified project archeologist acknowledges that a pedestrian survey has been completed, a record search has been conducted at the appropriate California Historic Resources Information Center (IC) and that all submitted information is true.

Archeologist's signature  Date 11/18/2024

Please note: This letter pertains only to FCC projects being submitted to the California SHPO for comment.

Sincerely,



Julianne Polanco
State Historic Preservation Officer

Notification Date: 7AM EST 11/19/2024

File Number: 0011333643

See instructions for
public burden estimates

General Information

1) (Select only one) (NE) NE – New UA – Update of Application WD – Withdrawal of Application	
2) If this application is for an Update or Withdrawal, enter the file number of the pending application currently on file.	File Number:

Applicant Information

3) FCC Registration Number (FRN): 0015721665
4) Name: SBA Structures, LLC

Contact Name

5) First Name: Kerry	6) MI:	7) Last Name: Willoughby	8) Suffix:
9) Title:			

Contact Information

10) P.O. Box:	And /Or	11) Street Address: 9976 Peak Lookout Street 9976 Peak Lookout Street	
12) City: Las Vegas		13) State: NV	14) Zip Code: 89178
15) Telephone Number: (702)614-4431		16) Fax Number:	
17) E-mail Address: kerrywilloughby@aceenvironmentalllc.com			

Consultant Information

18) FCC Registration Number (FRN): 0014143861
19) Name: ACE Environmental

Principal Investigator

20) First Name: Sue	21) MI:	22) Last Name: Wade	23) Suffix:
24) Title:			

Principal Investigator Contact Information

25) P.O. Box:	And /Or	26) Street Address: 9976 Peak Lookout Street 9976 Peak Lookout Street	
27) City: Las Vegas		28) State: NV	29) Zip Code: 89178
30) Telephone Number: (702)614-4431		31) Fax Number:	
32) E-mail Address: kerrywilloughby@aceenvironmentalllc.com			

Professional Qualification

33) Does the Principal Investigator satisfy the Secretary of the Interior's Professional Qualification Standards?	(<input checked="" type="checkbox"/>) <u>Yes</u> (<input type="checkbox"/>) <u>No</u>
34) Areas of Professional Qualification: (<input checked="" type="checkbox"/>) Archaeologist (<input type="checkbox"/>) Architectural Historian (<input checked="" type="checkbox"/>) Historian (<input type="checkbox"/>) Architect (<input type="checkbox"/>) Other (Specify) _____	

Additional Staff

35) Are there other staff involved who meet the Professional Qualification Standards of the Secretary of the Interior?	(<input type="checkbox"/>) <u>Yes</u> (<input checked="" type="checkbox"/>) <u>No</u>
--	---

If "YES," complete the following:

36) First Name:	37) MI:	38) Last Name:	39) Suffix:
40) Title:			
41) Areas of Professional Qualification: (<input type="checkbox"/>) Archaeologist (<input type="checkbox"/>) Architectural Historian (<input type="checkbox"/>) Historian (<input type="checkbox"/>) Architect (<input type="checkbox"/>) Other (Specify) _____			

Site Information

Tower Construction Notification System

1) TCNS Notification Number: **283245**

Site Information

2) Positive Train Control Filing Subject to Expedited Treatment Under Program Comment: () Yes (**X**) No

3) Site Name: **CA24329-S**

4) Site Address: **352 East 1st Street - CA24329-S**

5) Detailed Description of Project:

Proposed 143' (total height) self-support tower

6) City: **Calexico**

7) State: **CA**

8) Zip Code: **92231**

9) County/Borough/Parish: **IMPERIAL**

10) Nearest Crossroads: **East 1st Street / Heber Avenue**

11) NAD 83 Latitude (DD-MM-SS.S): **32-39-55.3**

(**X**) N or () S

12) NAD 83 Longitude (DD-MM-SS.S): **115-29-38.6**

() E or (**X**) W

Tower Information

13) Tower height above ground level (include top-mounted attachments such as lightning rods): **43.6** () Feet (**X**) Meters

14) Tower Type (Select One):

() Guyed lattice tower

(**X**) Self-supporting lattice

() Monopole

() Other (Describe):

Project Status

15) Current Project Status (Select One):

(**X**) Construction has not yet commenced

() Construction has commenced, but is not completed

Construction commenced on: _____

() Construction has been completed

Construction commenced on: _____

Construction completed on: _____

Determination of Effect

14) Direct Effects (Select One):

- ☒ No Historic Properties in Area of Potential Effects (APE)
- ☐ No Effect on Historic Properties in APE
- ☐ No Adverse Effect on Historic Properties in APE
- ☐ Adverse Effect on one or more Historic Properties in APE

15) Visual Effects (Select One):

- ☐ No Historic Properties in Area of Potential Effects (APE)
- ☒ No Effect on Historic Properties in APE
- ☐ No Adverse Effect on Historic Properties in APE
- ☐ Adverse Effect on one or more Historic Properties in APE

Certification and Signature

I certify that all representations on this FCC Form 620 and the accompanying attachments are true, correct, and complete.



Signature

11/18/2024

Date

Sue Wade

Printed Name

Archaeologist-Historian

Title

WILLFUL FALSE STATEMENTS MADE ON THIS FORM OR ANY ATTACHMENTS ARE PUNISHABLE BY FINE AND/OR IMPRISONMENT (U.S. Code, Title 18, Section 1001) AND/OR REVOCATION OF ANY STATION LICENSE OR CONSTRUCTION PERMIT (U.S. Code, Title 47, Section 312(a)(1) AND/ OR FORFEITURE (U.S. Code, Title 47, Section 503).

AFFIDAVIT OF PUBLICATION
(2015.5 C.C.P.)

This space is for the County Clerk's
Filing Stamp:

STATE OF CALIFORNIA

County of Imperial

I am a resident of the County aforesaid; I am
over the age of eighteen years, and not a party to
or interested in the above entitled matter. I am
the principal clerk* of the printer of the

Proof of Publication of:

IMPERIAL VALLEY PRESS

a newspaper of general circulation, printed and
published daily in the City of El Centro, county
of Imperial and which newspaper has been
adjudged a newspaper of general circulation by
the Superior Court of the County of Imperial,
State of California, under the date of October 9,
1951, Case Number 26775; that the notice, of
which the annexed is a printed copy, has been
published in each regular and entire issue of said
newspaper and not in any supplement thereof on
the following dates, to-wit:

11/29/2024

All in the year 2024

I certify (or declare) under penalty of
perjury that the foregoing is true and
correct.


SIGNATURE

Name of Account:
PENELOPE EISCHER
Ad Number: 412326

* Printer, Foreman of the Printer,
or Principal Clerk of the Printer
Date: 29th day of November, 2024
at El Centro, California.

SBA Towers X, LLC is
proposing a new 139 self-
support tower at (CA24329-S)
352 E. 1st St., Calexico,
Imperial County, CA 92231 N
32° 39' 55.30, W 115° 29'
38.60. The height of the tower
will be 42.4 meters above
ground level (44.2 meters
above mean sea level). The
tower is anticipated to have no
lights. Interested persons may
review this project at
www.fcc.gov/asr/applications
by entering Antenna Structure
Registration (Form 854) file
no. A1303447 and may raise
environmental concerns about
the project under the National
Environmental Policy Act rules
of the Federal
Communications Commission,
47 CFR §1.1307, by notifying
the FCC of the specific
reasons that the tower may
have a significant impact on
the quality of the human
environment. Requests for
Environmental Review must be
filed within 30 days of the date
that notice of the project is
published on the FCC's
website and may only raise
environmental concerns. The
FCC strongly encourages
interested parties to file
Requests for Environmental
Review online at
www.fcc.gov/asr/environmental
request, but they may be filed
with a paper copy by mailing
the Request to FCC Requests
for Environmental Review,
Attn: Ramon Williams, 445
12th Street SW, Washington,
DC 20554. A copy of the
Request should be provided to
Ace Environmental, LLC at
9976 Peak Lookout St, Las
Vegas, NV 89178.
Published 11/29/24
#412326 N29



**DEPARTMENT OF PARKS AND RECREATION
OFFICE OF HISTORIC PRESERVATION**

Armando Quintero, *Director*

Julianne Polanco, State Historic Preservation Officer

1725 23rd Street, Suite 100, Sacramento, CA 95816-7100

Telephone: (916) 445-7000

FAX: (916) 445-7053

calshpo.ohp@parks.ca.gov

www.ohp.parks.ca.gov

December 31, 2024

Reply In Reference To: FCC_2024_1119_006

VIA ELECTRONIC MAIL

Sue Wade

ACE

9976 Peak Lookout St.

Las Vegas, NV 89178

RE: East 1st Street Calexico Cell (CA24329-S) 352 East 1st Street, Calexico, Imperial
County, Collocation

Dear Ms. Wade:

Thank you for initiating consultation with me on behalf of the Federal Communications Commission (FCC) regarding your efforts to comply with Section 106 of the National Historic Preservation Act of 1966 (16 U.S.C. 470f), as amended, and its implementing regulation found at 36 CFR Part 800. You do so under the terms of the Nationwide Programmatic Agreement for Review of Effects on Historic Properties for Certain Undertakings Approved by the Federal Communications Commission, September 2004 (PA). You are requesting I concur that the above-referenced undertaking will not affect historic properties.

The FCC's licensee, or the tower company named as the applicant proposes to construct and operate an unmanned cellular communications facility at the above-referenced address. In addition to your project description, you have submitted maps, photographs, the results of a records search conducted at the regional information center, evidence of Native American consultation, and evidence of public notification.

Having reviewed the information provided, **I concur** that the undertaking as described will not affect historic properties.

Be advised that under certain circumstances, such as an unanticipated discovery or a change in project description, you may have additional future responsibilities for this undertaking under 36 CFR Part 800.

Should you encounter cultural artifacts during ground disturbing activities please halt all work until a qualified archaeologist can be consulted on the nature and significance of such artifacts.

Should you have any questions or concerns, please contact Michelle C. Messinger, of my staff at (916) 445-7005 or at Michelle.Messinger@parks.ca.gov.

Sincerely,

A handwritten signature in blue ink, appearing to be 'J. Polanco', with a long horizontal line extending to the right.

Julianne Polanco
State Historic Preservation Officer

APPENDIX 3
TCNS INITIATION EMAIL
NAHC RESPONSE
TRIBAL RESPONSES AND TRIBAL COMMUNICATIONS
TCNS CLEARANCE EMAIL

Penny Eischer

From: towernotifyinfo@fcc.gov
Sent: Friday, August 9, 2024 12:02 AM
To: Penny Eischer
Cc: tcnsweekly@fcc.gov
Subject: NOTICE OF ORGANIZATION(S) WHICH WERE SENT PROPOSED TOWER CONSTRUCTION NOTIFICATION INFORMATION - Email ID #8935434

Dear Applicant:

Thank you for using the Federal Communications Commission's (FCC) Tower Construction Notification System (TCNS). The purpose of this electronic mail message is to inform you that the following authorized persons were sent the notification that you provided through TCNS, which relates to your proposed antenna structure. The information was forwarded by the FCC to authorized TCNS users by electronic mail and/or regular mail (letter). We note that the review period for all parties begins upon receipt of the Submission Packet pursuant to Section VII.A of the NPA and notifications that do not provide this serve as information only.

Persons who have received the notification that you provided include leaders or their designees of federally-recognized American Indian Tribes, including Alaska Native Villages (collectively "Tribal Nations"), Native Hawaiian Organizations (NHOs), and State Historic Preservation Officers (SHPOs). For your convenience in identifying the referenced Tribal Nations and NHOs and in making further contacts, the City and State of the Seat of Government for each Tribal Nation and NHO, as well as the designated contact person, is included in the listing below. We note that Tribal Nations may have Section 106 cultural interests in ancestral homelands or other locations that are far removed from their current Seat of Government. Pursuant to the Commission's rules as set forth in the Nationwide Programmatic Agreement for Review of Effects on Historic Properties for Certain Undertakings Approved by the Federal Communications Commission (NPA), all Tribal Nations and NHOs listed below must be afforded a reasonable opportunity to respond to this notification, consistent with the procedures set forth below, unless the proposed construction falls within an exclusion designated by the Tribal Nation or NHO. (NPA, Section IV.F.4).

The notification that you provided was forwarded to the following Tribal Nations and NHOs. A Tribal Nation or NHO may not respond until a full Submission Packet is provided. If, upon receipt, the Tribal Nation or NHO does not respond within a reasonable time, you should make a reasonable effort at follow-up contact, unless the Tribal Nation or NHO has agreed to different procedures (NPA, Section IV.F.5). In the event a Tribal Nation or NHO does not respond to a follow-up inquiry, or if a substantive or procedural disagreement arises between you and a Tribal Nation or NHO, you must seek guidance from the Commission (NPA, Section IV.G). These procedures are further set forth in the FCC's Second Report and Order released on March 30, 2018 (FCC 18-30).

1. THPO Josh Mann - Eastern Shoshone Tribe - (PO Box: 538) Fort Washakie, WY - jmann@easternshoshone.org - 307-335-2081 - electronic mail

Exclusions: Thank you for the recent submittal regarding your TCNS project. Based on the location of your proposed project, the Eastern Shoshone Tribe does have an interest in this project as required by the mandates expressed in 36 CFR 800, EO 13175, and the FCC Programmatic Agreement as Traditionally Associated Peoples (TAPs) and a sovereign nation legal responsibility for heritage preservation on ancestral homelands. Please utilize our ESTHPO website for online submittals. Our website address is: <http://www.esthpo.com>. Please navigate to our Services page. On the services page there will be a Submittal button under the Section 106 Consultation literature. The submittal button will navigate you to the upload page where can submit relevant project files for our consultation review.

Your submission should include:

Appropriate SHPO determination or response letter Cultural Resource Report and or Archaeological Survey Report
Photographic project site documentation Topographic or Quadrangle Maps Site Plans/Construction Drawings FCC Forms 620 and 621 Lat/Long Coordinates for the proposed project.

Project Coordinator Contact Information

Our 30-day review period will commence once all project details have been submitted into our online database. If you have any questions, please feel free to contact the Eastern Shoshone THPO: Joshua Mann, jmann@easternshoshone.org or by phone at: (307) 335-2081 or Shaylynn Durgin, sdurgin@easternshoshone.org or by phone at: (307) 335-2081. Thank you for consulting with the Eastern Shoshone Tribe.

The ancestors of the Eastern Shoshone Tribe lived a long and storied history across several states on their westward journey from the Western area to present-day Wyoming. This journey, confirmed by tribal oral history, ethnographies, and archaeological evidence, took place over multiple generations and through the present-day states of North Dakota, South Dakota, Nebraska, Kansas, Colorado, Wyoming, Montana, Idaho, Washington, Oregon, California, Utah, Nevada, Arizona, New Mexico and Texas. Significant historical resources throughout this region include major sacred sites including burial sites, occupation areas, medicinal plant and resource collection areas, and other significant traditional cultural properties (TCPs). Therefore, based on the location of your proposed project, the Eastern Shoshone Tribe does have an interest in this proposed project and are requesting to be consulted on this proposed project as required by the mandates expressed in 36 CFR 800, EO 13175, and the FCC National Programmatic Agreement as traditionally associated peoples (TAPs) and a sovereign nation with legal responsibility for heritage preservation on ancestral homelands.

2. Cultural Resource Manager Justin Brundin - Cocopah Indian Tribe - County 15th & Avenue G Somerton, AZ - culturalres@cocopah.com; brundinj@cocopah.com - 928-627-4849 - electronic mail

Exclusions: We would like a copy of any GIS files related to the site location and areas of potential impact.

3. Historic Preservation Officer Jill McCormick - Quechan Indian Tribe - (PO Box: 1899) Yuma, AZ - historicpreservation@quechantribe.com; scottmanfred@yahoo.com - 760-572-2423 (ext: 0) - electronic mail

4. Chairman Candace Bear - Skull Valley Band Goshute - 407 Skull Valley Rd Skull Valley, UT - candaceb@svgoshutes.com; candaceb@svgoshutes.com - 435-882-4532 - electronic mail and regular mail

Exclusions: Montana And Associates LLC does not contract for Skull Valley Band of Goshute any longer. Thank you.

If the applicant/tower builder receives no response from the Skull Valley Band Goshute within 30 days after notification through TCNS, the Skull Valley Band Goshute has no interest in participating in pre-construction review for the proposed site. The Applicant/tower builder,

however, must immediately notify the Skull Valley Band Goshute in the event archaeological properties or human remains are discovered during construction, consistent with Section IX of the Nationwide Programmatic Agreement and applicable law.

5. Cultural Resource Manager Daniel Tsosie - Campo Band of Mission Indians - 36190 Church Road Campo, CA - dtsosie@campo-nsn.gov; MarcusCuero@campo-nsn.gov - 619-760-6480 - electronic mail and regular mail

6. Chairperson Gwendolyn Parada - La Posta Band of Mission Indians - 8 Crestwood Road Boulevard, CA - lp13boots@aol.com - 619-478-2113 - electronic mail and regular mail

7. Chairman Shane Chapparosa - Los Coyotes Reservation - (PO Box: 189) Warner Springs, CA - los_coyotes@ymail.com; loscoyotes_ta@yahoo.com - 760-782-0711 - electronic mail and regular mail

If the applicant/tower builder receives no response from the Los Coyotes Reservation within 30 days after notification through TCNS, the Los Coyotes Reservation has no interest in participating in pre-construction review for the proposed site. The Applicant/tower builder,

however, must immediately notify the Los Coyotes Reservation in the event archaeological properties or human remains are discovered during construction, consistent with Section IX of the Nationwide Programmatic Agreement and applicable law.

8. Cultural Clerk Chris Devers - Pauma/Yuima Band of Mission Indians - (PO Box: 369) Pauma Valley, CA - cultural@pauma-nsn.gov - 760-742-1289 - electronic mail and regular mail

If the applicant/tower builder receives no response from the Pauma/Yuima Band of Mission Indians within 30 days after notification through TCNS, the Pauma/Yuima Band of Mission Indians has no interest in participating in pre-construction review for the proposed site. The Applicant/tower builder,

however, must immediately notify the Pauma/Yuima Band of Mission Indians in the event archaeological properties or human remains are discovered during construction, consistent with Section IX of the Nationwide Programmatic Agreement and applicable law.

9. THPO Desiree Morales Witman - San Pasqual Band of Diegueno Indians - (PO Box: 365) Valley Center, CA - thpo@sanpasqualtribe.org; angelinag@sanpasqualtribe.org - 760-749-3200 - electronic mail

If the applicant/tower builder receives no response from the San Pasqual Band of Diegueno Indians within 30 days after notification through TCNS, the San Pasqual Band of Diegueno Indians has no interest in participating in pre-construction review for the proposed site. The Applicant/tower builder,

however, must immediately notify the San Pasqual Band of Diegueno Indians in the event archaeological properties or human remains are discovered during construction, consistent with Section IX of the Nationwide Programmatic Agreement and applicable law.

10. Cultural Resources Coordinator Michael Mirelez - Torres-Martinez Desert Cahuilla Indians - (PO Box: 1160) Thermal, CA - mmirelez@tmtanf.org - 760-397-0300 (ext: 1213) - electronic mail

11. Tribal Historic Preservation Officer Christopher E Nicosia - Twenty Nine Palms Band of Mission Indians - 46-200 Harrison Place Coachella, CA - TNPConsultation@29palmsbomi-nsn.gov; Christopher.Nicosia@29palmsbomi-nsn.gov - 760-775-3259 (ext: 6762) - electronic mail and regular mail

Exclusions: Anthony Madrigal, Jr., Tribal Historic Preservation Officer TNPConsultation@29palmsbomi-nsn.gov. Please call (760) 863-2489, if you have any questions.

The notification that you provided was also forwarded to the following SHPOs in the State in which you propose to construct and neighboring States. The information was provided to these SHPOs as a courtesy for their information and planning. You need make no effort at this time to follow up with any SHPO that does not respond to this notification. Prior to construction, you must provide the SHPO of the State in which you propose to construct (or the Tribal Historic Preservation Officer, if the project will be located on certain Tribal lands), with a Submission Packet pursuant to Section VII.A of the NPA unless the project is excluded from SHPO review under Section III D or E of the NPA.

None

TCNS automatically forwards all notifications to all Tribal Nations and SHPOs that have an expressed interest in the geographic area of a proposal. However, if a proposal for PTC wayside poles falls within a designated exclusion, you need not expect any response and need not pursue any additional process with that Tribal Nation or SHPO. In addition, a particular Tribal Nation or SHPO may also set forth policies or procedures within its details box that exclude from review certain facilities (for example, a statement that it does not review collocations with no ground disturbance; or that indicates that no response within 30 days indicates no interest in participating in pre-construction review).

Please be advised that the FCC cannot guarantee that the contact(s) listed above have opened and reviewed an electronic or regular mail notification. If you learn that any of the above contact information is no longer valid, please contact the FCC by emailing tcnshelp@fcc.gov. The following information relating to the proposed tower was forwarded to the person(s) listed above:

Notification Received: 08/05/2024

Notification ID: 283245

Excluded from SHPO Review: No

Tower Owner Individual or Entity Name: SBA

Consultant Name: Kerry Willoughby

Street Address: 9976 Peak Lookout Street
City: Las Vegas
State: NEVADA
Zip Code: 89178
Phone: 702-614-4431
Email: pennyischer@aceenvironmentalllc.com

Structure Type: LTOWER - Lattice Tower
Latitude: 32 deg 39 min 55.3 sec N
Longitude: 115 deg 29 min 38.6 sec W
Location Description: 352 East 1st Street - CA24329-S
City: Calexico
State: CALIFORNIA
County: IMPERIAL
Detailed Description of Project: Proposed 143' (total height) self-support tower
Ground Elevation: 1.7 meters
Support Structure: 43.6 meters above ground level
Overall Structure: 43.6 meters above ground level
Overall Height AMSL: 45.3 meters above mean sea level

If you have any questions or comments regarding this notice, please contact the FCC using the electronic Help Request form located on the FCC's website at:

<https://www.fcc.gov/wireless/available-support-services>

You may also call the FCC Support Center at (877) 480-3201 (TTY 717-338-2824). Hours are from 8:00 a.m. to 6:00 p.m. Eastern Time, Monday through Friday (except Federal holidays). To provide quality service and ensure security, all telephone calls are recorded.

Thank you,
Federal Communications Commission



NATIVE AMERICAN HERITAGE COMMISSION

August 27, 2024

Penny Eischer
Ace Environmental, LLC

Via Email to: PennyEischer@AceEnvironmentalLLC.com

CHAIRPERSON
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VICE-CHAIRPERSON
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COMMISSIONER
Laurena Bolden
Serrano

COMMISSIONER
Reid Milanovich
Cahuilla

COMMISSIONER
Bennae Calac
Pauma-Yuima Band of
Luiseño Indians

EXECUTIVE SECRETARY
**Raymond C.
Hitchcock**
Miwok, Nisenan

NAHC HEADQUARTERS
1550 Harbor Boulevard
Suite 100
West Sacramento,

Re: CA24329S Project, Imperial County

Dear Ms. Eischer:

A record search of the Native American Heritage Commission (NAHC) Sacred Lands File (SLF) was completed for the information you have submitted for the above referenced project. The results were positive. Please contact the tribes on the attached list for more information. Other sources of cultural resources should also be contacted for information regarding known and recorded sites.

Attached is a list of Native American tribes who may also have knowledge of cultural resources in the project area. This list should provide a starting place in locating areas of potential adverse impact within the proposed project area. I suggest you contact all of those indicated; if they cannot supply information, they might recommend others with specific knowledge. By contacting all those listed, your organization will be better able to respond to claims of failure to consult with the appropriate tribe. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call or email to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from tribes, please notify me. With your assistance, we can assure that our lists contain current information.

If you have any questions or need additional information, please contact me at my email address: Pricilla.Torres-Fuentes@nahc.ca.gov.

Sincerely,

Pricilla Torres-Fuentes

Pricilla Torres-Fuentes
Cultural Resources Analyst

Attachment

Native American Heritage Commission
Native American Contact List
Imperial County
8/27/2024

County	Tribe Name	Fed (F) Non-Fed (N)	Contact Person	Contact Address	Phone #	Fax #	Email Address	Cultural Affiliation	Counties	Last Updated
Imperial	Barona Group of the Capitan Grande	F	Art Bunce, Attorney		(760) 489-0329		buncelaw@aol.com	Diegueno	Imperial, San Diego	7/25/2023
	Campo Band of Diegueno Mission Indians	F	Marcus Cuero, Chairperson	36190 Church Road, Suite 1 Campo, CA, 91906	(619) 478-9046		marcuscuero@campo-nsn.gov	Diegueno	Imperial, San Diego	5/15/2024
	Campo Band of Diegueno Mission Indians	F	Daniel Tsosie, THPO	36190 Church Road, Suite 1 Campo, CA, 91906	(619) 760-6480		dtosie@campo-nsn.gov	Diegueno	Imperial, San Diego	5/24/2024
	Campo Band of Diegueno Mission Indians	F	Ben Dyche, Vice Chairperson	36190 Church Road, Suite 1 Campo, CA, 91906	(619) 478-9046		bdyche@campo-nsn.gov	Diegueno	Imperial, San Diego	5/24/2024
	Cocopah Indian Tribe	F	Jose Guzman, Cultural Resources Interim Manager	14515 S. Veterans Drive Somerton, AZ, 85350	(928) 722-7523		guzmanj@cocopah.gov	Cocopah	Imperial	4/4/2024
	Ewilaapaayp Band of Kumeyaay Indians	F	Michael Garcia, Vice Chairperson	4054 Willows Road Alpine, CA, 91901	(619) 933-2200	(619) 445-9126	michaelg@leaningrock.net	Diegueno	Imperial, San Diego	
	Ewilaapaayp Band of Kumeyaay Indians	F	Robert Pinto, Chairperson	4054 Willows Road Alpine, CA, 91901	(619) 368-4382	(619) 445-9126	ceo@ebki-nsn.gov	Diegueno	Imperial, San Diego	
	Iipay Nation of Santa Ysabel	F	Clint Linton, Director of Cultural Resources	P.O. Box 507 Santa Ysabel, CA, 92070	(760) 803-5694		clinton@redtailenvironmental.com	Diegueno	Imperial, San Diego	11/30/2023
	Inaja-Cosmit Band of Indians	F	Rebecca Osuna, Chairperson	2005 S. Escondido Blvd. Escondido, CA, 92025	(760) 737-7628	(760) 747-8568		Diegueno	Imperial, San Diego	
	Jamul Indian Village	F	Lisa Cumper, Tribal Historic Preservation Officer	P.O. Box 612 Jamul, CA, 91935	(619) 669-4855		lcumper@jiv-nsn.gov	Diegueno	Imperial, San Diego	9/5/2018
	Jamul Indian Village	F	Erica Pinto, Chairperson	P.O. Box 612 Jamul, CA, 91935	(619) 669-4785	(619) 669-4817	epinto@jiv-nsn.gov	Diegueno	Imperial, San Diego	
	La Posta Band of Diegueno Mission Indians	F	Gwendolyn Parada, Chairperson	8 Crestwood Road Boulevard, CA, 91905	(619) 478-2113	(619) 478-2125	LP13boots@aol.com	Diegueno	Imperial, San Diego	
	Manzanita Band of Kumeyaay Nation	F	Angela Elliott Santos, Chairperson	P.O. Box 1302 Boulevard, CA, 91905	(619) 766-4930	(619) 766-4957		Diegueno	Imperial, San Diego	
	Mesa Grande Band of Diegueno Mission Indians	F	Michael Linton, Chairperson	P.O. Box 270 Santa Ysabel, CA, 92070	(760) 782-3818	(760) 782-9092	mesagrandeband@msn.com	Diegueno	Imperial, San Diego	

Native American Heritage Commission
Native American Contact List
Imperial County
8/27/2024

Quechan Tribe of the Fort Yuma Reservation	F	Jill McCormick, Historic Preservation Officer	P.O. Box 1899 Yuma, AZ, 85366	(928) 261-0254	historicpreservation@quechantribe.com	Quechan	Imperial, Kern, Los Angeles, Riverside, San Bernardino, San Diego	5/16/2023
Quechan Tribe of the Fort Yuma Reservation	F	Manfred Scott, Acting Chairman - Kwits'an Cultural Committee	P.O. Box 1899 Yuma, AZ, 85366	(928) 210-8739	culturalcommittees@quechantribe.com	Quechan	Imperial, Kern, Los Angeles, Riverside, San Bernardino, San Diego	5/16/2023
Quechan Tribe of the Fort Yuma Reservation	F	Jordan Josquin, President, Quechan Tribal Council	P.O. Box 1899 Yuma, AZ, 85366	(760) 919-3600	executive@quechantribe.com	Quechan	Imperial, Kern, Los Angeles, Riverside, San Bernardino, San Diego	5/16/2023
San Pasqual Band of Diegueno Mission Indians	F	John Flores, Environmental Coordinator	P.O. Box 365 Valley Center, CA, 92082	(760) 749-3200	johnf@sanpasqualtribe.org	Diegueno	Imperial, San Diego	8/16/2016
San Pasqual Band of Diegueno Mission Indians	F	Allen Lawson, Chairperson	P.O. Box 365 Valley Center, CA, 92082	(760) 749-3200	allenl@sanpasqualtribe.org	Diegueno	Imperial, San Diego	
Sycuan Band of the Kumeyaay Nation	F	Bernice Paipa, Cultural Resource Specialist	Sycuan Cultural Center: 910 Willow Glen Drive El Cajon, CA, 92019	(619) 445-6917	bpaipa2@sycuan-nsn.gov	Kumeyaay	Imperial, San Diego	8/7/2023
Sycuan Band of the Kumeyaay Nation	F	Cody Martinez, Chairman	Sycuan Tribal Office: 1 Kwaaypaay Court El Cajon, CA, 92019	(619) 445-2613	cmartinez@sycuan-nsn.gov	Kumeyaay	Imperial, San Diego	8/7/2023
Torres-Martinez Desert Cahuilla Indians	F	Abraham Becerra, Cultural Coordinator	P.O. Box 1160 Thermal, CA, 92274	(760) 397-0300	abecerra@tmdci.org	Cahuilla	Imperial, Riverside, San Bernardino, San Diego	10/30/2023
Torres-Martinez Desert Cahuilla Indians	F	Thomas Torte, Chairperson	P.O. Box 1160 Thermal, CA, 92274	(760) 397-0300	thomas.tortez@tmdci.org	Cahuilla	Imperial, Riverside, San Bernardino, San Diego	10/30/2023
Torres-Martinez Desert Cahuilla Indians	F	Alesia Reed, Cultural Committee Chairwoman	P.O. Box 1160 Thermal, CA, 92274	(760) 397-0300	lisareed990@gmail.com	Cahuilla	Imperial, Riverside, San Bernardino, San Diego	10/30/2023
Torres-Martinez Desert Cahuilla Indians	F	Gary Resvaloso, TM MLD	P.O. Box 1160 Thermal, CA, 92274	(760) 777-0365	grestmtm@gmail.com	Cahuilla	Imperial, Riverside, San Bernardino, San Diego	10/30/2023
Torres-Martinez Desert Cahuilla Indians	F	Mary Belardo, Cultural Committee Vice Chair	P.O. Box 1160 Thermal, CA, 92274	(760) 397-0300	belardom@gmail.com	Cahuilla	Imperial, Riverside, San Bernardino, San Diego	10/30/2023
Viejas Band of Kumeyaay Indians	F	Ray Teran, Resource Management Director	1 Viejas Grade Road Alpine, CA, 91901	(619) 659-2312	rtoran@viejas-nsn.gov	Kumeyaay	Imperial, San Diego	6/29/2023
Viejas Band of Kumeyaay Indians	F	Ernest Pingleton, THPO	1 Viejas Grade Road Alpine, CA, 91901	(619) 445-3810	epingleton@viejas-nsn.gov	Kumeyaay	Imperial, San Diego	6/29/2023

**Native American Heritage Commission
Native American Contact List
Imperial County
8/27/2024**

This list is current only as of the date of this document. Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resource Section 5097.98 of the Public Resources Code.

This list is only applicable for contacting local Native Americans with regard to cultural resources assessment for the proposed CA24329S Project, Imperial County.

Record: PROJ-2024-004415
Report Type: List of Tribes
Counties: Imperial
NAHC Group: All

Penny Eischer

From: Daniel Tsosie <dtosie@campo-nsn.gov>
Sent: Tuesday, December 3, 2024 7:36 PM
To: Penny Eischer
Cc: Marcus Cuero
Subject: Re: CA24329S - TCNS# 283245 - Campo Tribal Consult - Follow Up Email

Hello, Penny, on behalf of Campo Band of Mission Indians, due to cultural significance, we have concerns and interest, we are requesting consultation.

Best regards,

DANIEL TSOSIE
Campo Band of Mission Indians
Cultural Resource Manager

*Vice-Chairman- Kumeyaay Heritage Preservation Council
Secretary- Kumeyaay Diegueño Land Conservancy
Campo Band OMI KCRC representative*

C: 619-760-6480
O: 619-478-9046 Ext. 278

Sent from my T-Mobile 5G Device
Get [Outlook for Android](#)

From: Penny Eischer <pennyeischer@aceenvironmentalllc.com>
Sent: Friday, November 29, 2024 4:09:38 PM
To: Daniel Tsosie <dtosie@campo-nsn.gov>
Cc: Marcus Cuero <marcuscuero@campo-nsn.gov>
Subject: CA24329S - TCNS# 283245 - Campo Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. Please note that this submittal represents the second written follow-up letter to the original TCNS notification for this site. The first post-TCNS follow-up letter e-mailed approximately two weeks ago for this site included multiple color appendices.

The site includes a proposed antenna collocation to a new 139' self-supporting tower.

A Cultural Resource Research and Field Survey indicated no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.
Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
WBE – Women's Business Enterprise

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Penny Eischer

From: Jill McCormick <historicpreservation@quechantribe.com>
Sent: Thursday, December 5, 2024 10:45 AM
To: Penny Eischer
Subject: Re: [EXTERNAL]:CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

Good morning,

What I meant was I did not receive the email notification directly from you. I was forwarded the email below from our Tribal Secretary. She received your email, but I did not. I responded via the FCC website.

Jill

H. Jill McCormick, M.A.
Historic Preservation Office
Ft. Yuma Quechan Indian Tribe
P.O. Box 1899
Yuma, AZ 85366-1899
Office: 760-919-3631
Cell: 928-920-6521



From: Penny Eischer <pennyeischer@aceenvironmentalllc.com>
Sent: Wednesday, December 4, 2024 10:26 PM
To: Jill McCormick <historicpreservation@quechantribe.com>
Subject: RE: [EXTERNAL]:CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

Good morning,

You did not receive an email regarding this site because we have a TCNS response from you from October 30th, see attached.

I sent an email to the 2 people listed on the Sacred Land File response from the NAHC.

Regards,

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
WBE – Women's Business Enterprise

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From: Jill McCormick <historicpreservation@quechantribe.com>
Sent: Wednesday, December 4, 2024 9:04 AM
To: Penny Eischer <pennyeischer@aceenvironmentalllc.com>
Subject: Re: [EXTERNAL]:CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

Good morning,

This email is to inform you that the Historic Preservation Office does not wish to comment on this project. Also, this email was forwarded to me from our Tribal Secretary. I did not receive this email from you.

Jill

H. Jill McCormick, M.A.
Historic Preservation Office
Ft. Yuma Quechan Indian Tribe
P.O. Box 1899
Yuma, AZ 85366-1899
Office: 760-919-3631
Cell: 928-920-6521



From: Sophia Perez <executivesecretary@quechantribe.com>
Sent: Wednesday, December 4, 2024 9:20 AM
To: Jill McCormick <historicpreservation@quechantribe.com>
Cc: Tribal Council Members <TribalCouncilMembers@quechantribe.com>
Subject: Fw: [EXTERNAL]:CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

From: Penny Eischer <pennyeischer@aceenvironmentalllc.com>
Sent: Friday, November 29, 2024 5:19 PM
To: Sophia Perez <executivesecretary@quechantribe.com>
Subject: [EXTERNAL]:CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

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Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. Please note that this submittal represents the second written follow-up letter to the original TCNS notification for this site. The first post-TCNS follow-up letter e-mailed approximately two weeks ago for this site included multiple color appendices.

The site includes a proposed antenna collocation to a new 139' self-supporting tower.

A Cultural Resource Research and Field Survey indicated no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.
Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
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PennyEischer@AceEnvironmentalallc.com
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Penny Eischer

From: towernotifyinfo@fcc.gov
Sent: Wednesday, October 30, 2024 7:41 AM
To: Penny Eischer
Cc: tcns.fccarchive@fcc.gov; historicpreservation@quechantribe.com
Subject: Reply to Proposed Tower Structure (Notification ID: 283245) - Email ID #9025852

Dear Kerry Willoughby,

Thank you for using the Federal Communications Commission's (FCC) Tower Construction Notification System (TCNS). The purpose of this email is to inform you that an authorized user of the TCNS has replied to a proposed tower construction notification that you had submitted through the TCNS.

The following message has been sent to you from Historic Preservation Officer Jill McCormick of the Quechan Indian Tribe in reference to Notification ID #283245:

We have no interest in this site. However, if the Applicant discovers archaeological remains or resources during construction, the Applicant should immediately stop construction and notify the appropriate Federal Agency and the Tribe.

For your convenience, the information you submitted for this notification is detailed below.

Notification Received: 08/05/2024
Notification ID: 283245
Tower Owner Individual or Entity Name: SBA
Consultant Name: Kerry Willoughby
Street Address: 9976 Peak Lookout Street
City: Las Vegas
State: NEVADA
Zip Code: 89178
Phone: 702-614-4431
Email: pennyeischer@aceenvironmentalllc.com

Structure Type: LTOWER - Lattice Tower
Latitude: 32 deg 39 min 55.3 sec N
Longitude: 115 deg 29 min 38.6 sec W
Location Description: 352 East 1st Street - CA24329-S
City: Calxico
State: CALIFORNIA
County: IMPERIAL

Detailed Description of Project: Proposed 143' (total height) self-support tower

Ground Elevation: 1.7 meters

Support Structure: 43.6 meters above ground level

Overall Structure: 43.6 meters above ground level

Overall Height AMSL: 45.3 meters above mean sea level

Penny Eischer

From: Jill McCormick <historicpreservation@quechantribe.com>
Sent: Wednesday, December 4, 2024 9:04 AM
To: Penny Eischer
Subject: Re: [EXTERNAL]:CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

Good morning,

This email is to inform you that the Historic Preservation Office does not wish to comment on this project. Also, this email was forwarded to me from our Tribal Secretary. I did not receive this email from you.

Jill

H. Jill McCormick, M.A.
Historic Preservation Office
Ft. Yuma Quechan Indian Tribe
P.O. Box 1899
Yuma, AZ 85366-1899
Office: 760-919-3631
Cell: 928-920-6521



From: Sophia Perez <executivesecretary@quechantribe.com>
Sent: Wednesday, December 4, 2024 9:20 AM
To: Jill McCormick <historicpreservation@quechantribe.com>
Cc: Tribal Council Members <TribalCouncilMembers@quechantribe.com>
Subject: Fw: [EXTERNAL]:CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

From: Penny Eischer <pennyeischer@aceenvironmentalllc.com>
Sent: Friday, November 29, 2024 5:19 PM
To: Sophia Perez <executivesecretary@quechantribe.com>
Subject: [EXTERNAL]:CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site

SBA CA24329-S

TCNS ID# 283245

352 East 1st Street

Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



Ace Environmental, LLC

9976 Peak Lookout Street

Las Vegas, NV 89178

Mobile (702) 526-6044

Phone (702) 614-4431

PennyEischer@AceEnvironmentalLLC.com

WBE – Women's Business Enterprise

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Penny Eischer

From: Ray Teran <rteran@viejas-nsn.gov>
Sent: Monday, November 18, 2024 9:26 AM
To: Penny Eischer
Cc: Ernest Pingleton
Subject: RE: CA24329-S - TCNS# 283245 -Viejas Tribal Consult

In reviewing the above referenced project, the Viejas Band of Kumeyaay Indians ("Viejas") would like to comment at this time.

The project area may contain many sacred sites to the Kumeyaay people. We request that these sacred sites be avoided with adequate buffer zones.

Additionally, Viejas is requesting, as appropriate, the following:

- All NEPA/CEQA/NAGPRA/CALNAGPRA laws be followed
- Immediately contact Viejas on any changes or inadvertent discoveries.

Please call Ernest Pingleton at 619-655-0410 or email, epingleton@viejas-nsn.gov, for additional information. Thank you.

From: Penny Eischer <pennyeischer@aceenvironmentalllc.com>
Sent: Sunday, November 17, 2024 8:15 PM
To: Ray Teran <rteran@viejas-nsn.gov>
Subject: CA24329-S - TCNS# 283245 -Viejas Tribal Consult

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Ray Teran, Resource Management Director:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
WBE – Women's Business Enterprise

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November 15, 2024

Ms. Rebecca Osuna, Chairperson
Inaja-Cosmit Band of Indians
2005 South Escondido Boulevard
Escondido, CA 92025

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Ms. Rebecca Osuna, Chairperson:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

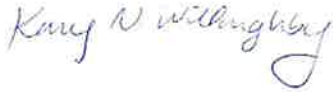
Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me at (702) 614-4431 or by email at KerryWilloughby@AceEnvironmentalLLC.com. Thank you very much.

Sincerely,
ACE Environmental, LLC

A handwritten signature in blue ink that reads "Kerry N. Willoughby". The signature is written in a cursive style with a large, looped "K" and a stylized "y".

Kerry N. Willoughby, CEM, REA
Principal
EM #1701, Exp: 10/07/25
ACE Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Phone 702-614-4431
Fax 702-614-4171
Email: KerryWilloughby@AceEnvironmentalLLC.com

Attachment: Diagrams
 Site Layout Map
 Site Photographs



November 15, 2024

Ms. Angela Elliott Santos, Chairperson
Manzanita Band of Kumeyaay Nation
PO Box 1302
Boulevard, CA 91905

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Ms. Angela Elliott Santos, Chairperson:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

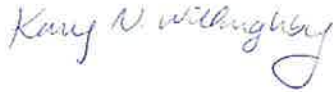
Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me at (702) 614-4431 or by email at KerryWilloughby@AceEnvironmentalLLC.com. Thank you very much.

Sincerely,
ACE Environmental, LLC

A handwritten signature in blue ink that reads "Kerry N. Willoughby". The signature is written in a cursive style with a large, stylized "K" and "W".

Kerry N. Willoughby, CEM, REA
Principal
EM #1701, Exp: 10/07/25
ACE Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Phone 702-614-4431
Fax 702-614-4171
Email: KerryWilloughby@AceEnvironmentalLLC.com

Attachment: Diagrams
 Site Layout Map
 Site Photographs

Penny Eischer

From: Penny Eischer
Sent: Wednesday, December 4, 2024 9:27 PM
To: Jill McCormick
Subject: RE: [EXTERNAL]:CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email
Attachments: Quechan response.pdf

Good morning,

You did not receive an email regarding this site because we have a TCNS response from you from October 30th, see attached.

I sent an email to the 2 people listed on the Sacred Land File response from the NAHC.

Regards,

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalllc.com
WBE – Women's Business Enterprise

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From: Jill McCormick <historicpreservation@quechantribe.com>
Sent: Wednesday, December 4, 2024 9:04 AM
To: Penny Eischer <pennyeischer@aceenvironmentalllc.com>
Subject: Re: [EXTERNAL]:CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

Good morning,

This email is to inform you that the Historic Preservation Office does not wish to comment on this project. Also, this email was forwarded to me from our Tribal Secretary. I did not receive this email from you.

Jill

H. Jill McCormick, M.A.

Historic Preservation Office

Ft. Yuma Quechan Indian Tribe

P.O. Box 1899

Yuma, AZ 85366-1899

Office: 760-919-3631

Cell: 928-920-6521



From: Sophia Perez <executivesecretary@quechantribe.com>

Sent: Wednesday, December 4, 2024 9:20 AM

To: Jill McCormick <historicpreservation@quechantribe.com>

Cc: Tribal Council Members <TribalCouncilMembers@quechantribe.com>

Subject: Fw: [EXTERNAL]:CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

From: Penny Eischer <pennyeischer@aceenvironmentalllc.com>

Sent: Friday, November 29, 2024 5:19 PM

To: Sophia Perez <executivesecretary@quechantribe.com>

Subject: [EXTERNAL]:CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site

SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. Please note that this submittal represents the second written follow-up letter to the original TCNS notification for this site. The first post-TCNS follow-up letter e-mailed approximately two weeks ago for this site included multiple color appendices.

The site includes a proposed antenna collocation to a new 139' self-supporting tower.

A Cultural Resource Research and Field Survey indicated no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.
Should you have any questions please contact me. Thank you.

**Penelope Eischer
Project Assistant**



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Kerry Willoughby

From: Kerry Willoughby
Sent: Saturday, January 11, 2025 11:15 AM
To: Daniel Tsosie
Cc: marcuscuero@campo-nsn.gov
Subject: CA24329S - TCNS ID# 283245
Attachments: CA24329-S 352 East First Street_Prem CDs_10.11.24.pdf; CA24329-S_Cultural Report_111724.pdf

Hello Daniel,

Per your response, you had requested consultation on this site. SBA is proposing to build a new 139' lattice tower. I've attached the drawings and cultural report – no issues were identified. Please advise if you need anything further regarding this site. Thank you.

Kerry Willoughby
Principal
Ace Environmental, LLC (WBE/WOSB)
phone [702-614-4431](tel:702-614-4431)
cell [702-506-1741](tel:702-506-1741)

Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 7:52 PM
To: Christopher.Nicosia@29palmsbomi-nsn.gov
Cc: TNPConsultation@29palmsbomi-nsn.gov
Subject: CA24329-S - TCNS# 283245 - 29 Palms Tribal Consult
Attachments: CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Christopher E. Nicosia, THPO:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 7:54 PM
To: buncelaw@aol.com
Subject: CA24329-S - TCNS# 283245 - Barona Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Art Bunce, Attorney:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
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PennyEischer@AceEnvironmentalllc.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 7:55 PM
To: bdyche@campo-nsn.gov
Subject: CA24329-S - TCNS# 283245 - Campo Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Ben Dyche, Vice Chairperson:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalllc.com
WBE – Women's Business Enterprise

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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 7:49 PM
To: Daniel Tsosie
Cc: MarcusCuero@campo-nsn.gov
Subject: CA24329-S - TCNS# 283245 - Campo Tribal Consult
Attachments: CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Daniel Tsosie, Cultural Resource Manager:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

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Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalllc.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 7:56 PM
To: guzmanj@cocopah.gov
Subject: CA24329-S - TCNS# 283245 - Cocopah Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Jose Guzman, Cultural Resources Interim Manager:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 7:47 PM
To: brundinj@cocopah.com
Cc: culturalres@cocopah.com
Subject: CA24329-S - TCNS# 283245 - Cocopah Tribal Consult
Attachments: CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Justin Brundin, Cultural Resource Manager:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

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Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalllc.com
WBE – Women's Business Enterprise

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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 7:58 PM
To: ceo@ebki-nsn.gov
Subject: CA24329-S - TCNS# 283245 - Ewiiapaayp Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Robert Pinto, Chairperson:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

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Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431

PennyEischer@AceEnvironmentalLLC.com

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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 7:57 PM
To: michaelg@leaningrock.net
Subject: CA24329-S - TCNS# 283245 - Ewiiapaayp Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Michael Garcia, Vice Chairperson:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

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Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



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Las Vegas, NV 89178
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PennyEischer@AceEnvironmentalllc.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 7:59 PM
To: clinton@redtailenvironmental.com
Cc: clint@redtailenvironmental.com
Subject: CA24329-S - TCNS# 283245 - lipay Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Clint Linton, Director of Cultural Resources:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

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Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



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PennyEischer@AceEnvironmentalLLC.com
WBE – Women's Business Enterprise

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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:01 PM
To: epinto@jiv-nsn.gov
Subject: CA24329-S - TCNS# 283245 - Jamul Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Ms. Erica Pinto, Chairperson:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
WBE – Women's Business Enterprise

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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:00 PM
To: Lisa Cumper
Subject: CA24329-S - TCNS# 283245 - Jamul Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Ms. Lisa Cumper, THPO:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 7:50 PM
To: lp13boots@aol.com
Subject: CA24329-S - TCNS# 283245 - La Posta Tribal Consult
Attachments: CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Ms. Gwendolyn Parada, Chairperson:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:02 PM
To: mesagrandeband@msn.com
Subject: CA24329-S - TCNS# 283245 - Mesa Grande Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Michael Linton, Chairperson:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:04 PM
To: executivesecretary@quechantribe.com
Subject: CA24329-S - TCNS# 283245 - Quechan Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Jordan Joaquin, President Quechan Tribal Council:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalllc.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:03 PM
To: culturalcommittee@quechantribe.com
Subject: CA24329-S - TCNS# 283245 - Quechan Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Manfred Scott, Acting Chairman Kw'ts'an Cultural Committee:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalllc.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:07 PM
To: allenl@sanpasqualtribe.org
Subject: CA24329-S - TCNS# 283245 - San Pasqual Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Allen Lawson, Chairperson:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431

PennyEischer@AceEnvironmentalLLC.com

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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:06 PM
To: johnf@sanpasqualtribe.org
Subject: CA24329-S - TCNS# 283245 - San Pasqual Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. John Flores, Environmental Coordinator :

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431

PennyEischer@AceEnvironmentalLLC.com

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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:08 PM
To: cmartinez@sycuan-nsn.gov
Subject: CA24329-S - TCNS# 283245 - Sycuan Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Cody Martinez, Chairman:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:08 PM
To: bpaipa2@sycuan-nsn.gov
Subject: CA24329-S - TCNS# 283245 - Sycuan Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Ms. Bernice Paipa, Cultural Resource Specialist:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to a new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:13 PM
To: Mary Belardo
Subject: CA24329-S - TCNS# 283245 - Torres-Martinez Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Ms. Mary Belardo, Cultural Committee Vice Chair:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
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Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:12 PM
To: GW Res
Subject: CA24329-S - TCNS# 283245 - Torres-Martinez Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Gary Resvaloso, TM MLD:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:12 PM
To: Alesia Reed
Subject: CA24329-S - TCNS# 283245 - Torres-Martinez Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Ms. Alesia Reed, Cultural Committee Chairwoman:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431

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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:10 PM
To: thomas.tortez@tmdci.org
Subject: CA24329-S - TCNS# 283245 - Torres-Martinez Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Thomas Tortez, Chairperson:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431

PennyEischer@AceEnvironmentalLLC.com

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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:09 PM
To: Abraham Becerra
Subject: CA24329-S - TCNS# 283245 - Torres-Martinez Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Abraham Becerra, Cultural Coordinator:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalllc.com
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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 7:51 PM
To: mmirelez@tmtanf.org
Subject: CA24329-S - TCNS# 283245 - Torres-Martinez Tribal Consult
Attachments: CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Michael Mirelez, Cultural Resources Coordinator:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
WBE – Women's Business Enterprise

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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:16 PM
To: epingleton@viejas-nsn.gov
Subject: CA24329-S - TCNS# 283245 - Viejas Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Ernest Pingleton, THPO:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



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Penny Eischer

From: Penny Eischer
Sent: Sunday, November 17, 2024 8:15 PM
To: Ray Teran
Subject: CA24329-S - TCNS# 283245 -Viejas Tribal Consult
Attachments: CA24329-S drawings shortened.pdf; CA24329S site layout.pdf; CA24329-S photos for letters.pdf

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Dear Mr. Ray Teran, Resource Management Director:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. This submittal is to determine if you have interest in this site.

Site Location and Description

The project site is developed with an existing water tank. See attached site layout map and site photographs.

Proposed Activities: See attached diagrams. The site includes a proposed antenna collocation to an new 139' self-support tower located on the parent parcel.

Conclusions

A Cultural Resource Research and Field Survey were performed for this site. The results of the resource research and field survey indicated the project will have no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Based on the above referenced information, please let ACE know if your Native American Indian Tribe has interest in this site.

Should you have any questions, comments and/or require further clarification, please contact me. Thank you very much.

Penelope Eischer
Project Assistant



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9976 Peak Lookout Street
Las Vegas, NV 89178
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Phone (702) 614-4431
PennyEischer@AceEnvironmentalllc.com
WBE – Women's Business Enterprise

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November 29, 2024

Ms. Rebecca Osuna, Chairperson
Inaja-Cosmit Band of Indians
2005 South Escondido Boulevard
Escondido, CA 92025

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. Please note that this submittal represents the second written follow-up letter to the original TCNS notification for this site. The first post-TCNS follow-up letter mailed approximately two weeks ago for this site included multiple color appendices.

The site includes a proposed antenna collocation to a new 139' self-supporting tower.

A Cultural Resource Research and Field Survey indicated no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Should you have any questions please contact me at KerryWilloughby@AceEnvironmentalLLC.com.
Thank you.

Sincerely,
ACE Environmental, LLC

A handwritten signature in blue ink that reads "Kerry N. Willoughby".

Kerry N. Willoughby, CEM, REA
Principal
EM #1701, Exp: 10/07/25
ACE Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Phone 702-614-4431
Fax 702-614-4171
Email: KerryWilloughby@AceEnvironmentalLLC.com



November 29, 2024

Ms. Angela Elliott Santos, Chairperson
Manzanita Band of Kumeyaay Nation
PO Box 1302
Boulevard, CA 91905

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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The site includes a proposed antenna collocation to a new 139' self-supporting tower.

A Cultural Resource Research and Field Survey indicated no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Should you have any questions please contact me at KerryWilloughby@AceEnvironmentalLLC.com.
Thank you.

Sincerely,
ACE Environmental, LLC

A handwritten signature in dark ink that reads "Kerry N. Willoughby". The signature is written in a cursive, flowing style.

Kerry N. Willoughby, CEM, REA
Principal
EM #1701, Exp: 10/07/25
ACE Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Phone 702-614-4431
Fax 702-614-4171
Email: KerryWilloughby@AceEnvironmentalLLC.com

Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:14 PM
To: Christopher.Nicosia@29palmsbomi-nsn.gov
Cc: TNPConsultation@29palmsbomi-nsn.gov
Subject: CA24329S - TCNS# 283245 - 29 Palms Tribal Consult - Follow Up Email

Re: **TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site**
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. Please note that this submittal represents the second written follow-up letter to the original TCNS notification for this site. The first post-TCNS follow-up letter e-mailed approximately two weeks ago for this site included multiple color appendices.

The site includes a proposed antenna collocation to a new 139' self-supporting tower.

A Cultural Resource Research and Field Survey indicated no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
WBE – Women's Business Enterprise

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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:15 PM
To: buncelaw@aol.com
Subject: CA24329S - TCNS# 283245 - Barona Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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The site includes a proposed antenna collocation to a new 139' self-supporting tower.

A Cultural Resource Research and Field Survey indicated no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



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PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:10 PM
To: Daniel Tsosie
Cc: MarcusCuero@campo-nsn.gov
Subject: CA24329S - TCNS# 283245 - Campo Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. Please note that this submittal represents the second written follow-up letter to the original TCNS notification for this site. The first post-TCNS follow-up letter e-mailed approximately two weeks ago for this site included multiple color appendices.

The site includes a proposed antenna collocation to a new 139' self-supporting tower.

A Cultural Resource Research and Field Survey indicated no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
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PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:06 PM
To: bdyche@campo-nsn.gov
Subject: CA24329S - TCNS# 283245 - Campo Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. Please note that this submittal represents the second written follow-up letter to the original TCNS notification for this site. The first post-TCNS follow-up letter e-mailed approximately two weeks ago for this site included multiple color appendices.

The site includes a proposed antenna collocation to a new 139' self-supporting tower.

A Cultural Resource Research and Field Survey indicated no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Should you have any questions please contact me. Thank you.

3

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:05 PM
To: brundinj@cocopah.com
Cc: culturalres@cocopah.com
Subject: CA24329S - TCNS# 283245 - Cocopah Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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A Cultural Resource Research and Field Survey indicated no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
WBE – Women's Business Enterprise

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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:04 PM
To: guzmanj@cocopah.gov
Subject: CA24329S - TCNS# 283245 - Cocopah Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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The site includes a proposed antenna collocation to a new 139' self-supporting tower.

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Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
WBE – Women's Business Enterprise

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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:16 PM
To: michaelg@leaningrock.net
Subject: CA24329S - TCNS# 283245 - Ewiiapaayp Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



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Las Vegas, NV 89178
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Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:15 PM
To: ceo@ebki-nsn.gov
Subject: CA24329S - TCNS# 283245 - Ewiiapaayp Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



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Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:17 PM
To: clint@redtailenvironmental.com
Subject: CA24329S - TCNS# 283245 - lipay Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



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Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
WBE – Women's Business Enterprise

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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:19 PM
To: Lisa Cumper
Subject: CA24329S - TCNS# 283245 - Jamul Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:18 PM
To: epinto@jiv-nsn.gov
Subject: CA24329S - TCNS# 283245 - Jamul Tribal Consult - Follow Up Email

Re: **TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site**
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



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Phone (702) 614-4431
PennyEischer@AceEnvironmentalllc.com
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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:11 PM
To: lp13boots@aol.com
Subject: CA24329S - TCNS# 283245 - La Posta Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



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Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:20 PM
To: culturalcommittee@quechantribe.com
Subject: CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



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Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
WBE – Women's Business Enterprise

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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:19 PM
To: executivesecretary@quechantribe.com
Subject: CA24329S - TCNS# 283245 - Quechan Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. Please note that this submittal represents the second written follow-up letter to the original TCNS notification for this site. The first post-TCNS follow-up letter e-mailed approximately two weeks ago for this site included multiple color appendices.

The site includes a proposed antenna collocation to a new 139' self-supporting tower.

A Cultural Resource Research and Field Survey indicated no historic properties for the Direct-Impact APE and no effect on historic properties for the Indirect-Impact APE.

Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



Ace Environmental, LLC
9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
PennyEischer@AceEnvironmentalLLC.com
WBE – Women's Business Enterprise

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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:20 PM
To: johnf@sanpasqualtribe.org
Subject: CA24329S - TCNS# 283245 - San Pasqual Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:21 PM
To: bpaipa2@sycuan-nsn.gov
Subject: CA24329S - TCNS# 283245 - Sycuan Tribal Consult - Follow Up Email

Re: **TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site**
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:21 PM
To: cmartinez@sycuan-nsn.gov
Subject: CA24329S - TCNS# 283245 - Sycuan Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. Please note that this submittal represents the second written follow-up letter to the original TCNS notification for this site. The first post-TCNS follow-up letter e-mailed approximately two weeks ago for this site included multiple color appendices.

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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:13 PM
To: Abraham Becerra
Subject: CA24329S - TCNS# 283245 - Torres-Martinez Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. Please note that this submittal represents the second written follow-up letter to the original TCNS notification for this site. The first post-TCNS follow-up letter e-mailed approximately two weeks ago for this site included multiple color appendices.

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Penelope Eischer
Project Assistant



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9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431

PennyEischer@AceEnvironmentalLLC.com

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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:13 PM
To: Alesia Reed
Subject: CA24329S - TCNS# 283245 - Torres-Martinez Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. Please note that this submittal represents the second written follow-up letter to the original TCNS notification for this site. The first post-TCNS follow-up letter e-mailed approximately two weeks ago for this site included multiple color appendices.

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Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



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Las Vegas, NV 89178
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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:12 PM
To: GW Res
Subject: CA24329S - TCNS# 283245 - Torres-Martinez Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

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Penelope Eischer
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Penny Eischer

From: Penny Eischer
Sent: Friday, November 29, 2024 4:11 PM
To: Mary Belardo
Subject: CA24329S - TCNS# 283245 - Torres-Martinez Tribal Consult - Follow Up Email

Re: TRIBAL HISTORIC PRESERVATION OFFICE REVIEW – Second Letter for this Site
SBA CA24329-S
TCNS ID# 283245
352 East 1st Street
Calexico, Imperial County, CA 92231

Attn: Tribal Historic Preservation Officer:

ACE Environmental, LLC (ACE) is under contract to submit information to the Native American Indian Tribes regarding telecommunications facilities. Please note that this submittal represents the second written follow-up letter to the original TCNS notification for this site. The first post-TCNS follow-up letter e-mailed approximately two weeks ago for this site included multiple color appendices.

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Should you have any questions please contact me. Thank you.

Penelope Eischer
Project Assistant



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9976 Peak Lookout Street
Las Vegas, NV 89178
Mobile (702) 526-6044
Phone (702) 614-4431
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Penny Eischer

From: towernotifyinfo@fcc.gov
Sent: Thursday, December 26, 2024 6:01 AM
To: Penny Eischer
Cc: tcnsweekly@fcc.gov
Subject: Proposed Construction of Communications Facilities Notification of Final Contacts - Email ID #37282

SBA
Kerry Willoughby
9976 Peak Lookout Street
Las Vegas, NV 89178

Dear Applicant:

This letter addresses the proposed communications facilities listed below that you have referred to the Federal Communications Commission (Commission) for purposes of contacting federally recognized Indian Tribes, including Alaska Native Villages (collectively Indian Tribes), and Native Hawaiian Organizations (NHOs), as specified by Section IV.G of the Nationwide Programmatic Agreement (NPA). Consistent with the procedures outlined in the Commission's Wireless Infrastructure Second Report and Order (1), we have contacted the Indian Tribes or NHOs identified in the attached Table for the projects listed in the attached Table. You referred these projects to us between 12/19/2024 and 12/26/2024. Our contact with these Tribal Nations or NHOs was sent on 12/26/2024.

Thus, as described in the Wireless Infrastructure Second Report and Order (2), if you or Commission staff do not receive a statement of interest regarding a particular project from any Tribe or NHO within 15 calendar days of 12/26/2024, your obligations under Section IV of the NPA with respect to these Tribal Nations or NHOs are complete. If a Tribal Nation or NHO responds that it has concerns about a historic property of traditional religious and cultural significance that may be affected by the proposed construction within the 15 calendar day period, the Applicant must involve it in the review as set forth in the NPA, and may not begin construction until the process set forth in the NPA is completed.

You are reminded that Section IX of the NPA imposes independent obligations on an Applicant when a previously unidentified site that may be a historic property, including an archeological property, is discovered during construction or after the completion of review. In such instances, the Applicant must cease construction and promptly notify, among others, any potentially affected Tribal Nation or NHO. A Tribal Nation's or NHO's failure to express interest in participating in pre-construction review of an undertaking does not necessarily mean it is not interested in archeological properties or human remains that may inadvertently be discovered during construction. Hence, an Applicant is still required to notify any potentially affected Tribal Nation or NHO of any such finds pursuant to Section IX or other applicable law.

Sincerely,
Ellen Saint Onge
Federal Preservation Officer
Federal Communications Commission
ellen.saintonge@fcc.gov

1) See Accelerating Wireless Broadband Deployment by Removing Barriers to Infrastructure Deployment, Second Report and Order, FCC 18-30 (Mar. 30, 2018) (Wireless Infrastructure Second Report and Order).

2) See id. at paras. 111-112.

LIST OF PROPOSED COMMUNICATIONS TOWERS

TCNS# 281122 Referred Date: 12/20/2024 Location: 36160 Pacific Coast Highway - SV00863A, Malibu, CA

Detailed Description of Project:

Tribe Name: Eastern Shoshone Tribe

Tribe Name: Santa Ynez Band of Chumash Indians

TCNS# 283245 Referred Date: 12/20/2024 Location: 352 East 1st Street - CA24329-S, Calexico, CA

Detailed Description of Project: Proposed 143' (total height) self-support tower

Tribe Name: Cocopah Indian Tribe

Tribe Name: Eastern Shoshone Tribe

Tribe Name: La Posta Band of Mission Indians

Tribe Name: Torres-Martinez Desert Cahuilla Indians

Tribe Name: Twenty Nine Palms Band of Mission Indians

TCNS# 284488 Referred Date: 12/20/2024 Location: 1218 West Manchester Avenue - CA40640-T, Los Angeles, CA

Detailed Description of Project: Existing monopalm

Tribe Name: Eastern Shoshone Tribe

Tribe Name: Santa Ynez Band of Chumash Indians

Tribe Name: Soboba Band of Luiseno Indians

Tribe Name: Twenty Nine Palms Band of Mission Indians

TCNS# 286723 Referred Date: 12/20/2024 Location: 5060 Obama Boulevard - LA75174A, Los Angeles, CA

Detailed Description of Project: Proposed temp 71' monopole

Tribe Name: Eastern Shoshone Tribe

Tribe Name: Santa Ynez Band of Chumash Indians

Tribe Name: Soboba Band of Luiseno Indians

Tribe Name: Twenty Nine Palms Band of Mission Indians

TCNS# 286921 Referred Date: 12/20/2024 Location: 530 West 8th Street - SAH0015A, Davis, CA

Detailed Description of Project: Existing water tank

Tribe Name: Eastern Shoshone Tribe

Tribe Name: Wilton Rancheria

Tribe Name: Yocha Dehe Wintun Nation

TCNS# 287450 Referred Date: 12/20/2024 Location: 9910 Molt Road - MT15944-A, Molt, MT

Detailed Description of Project: Proposed 164' SST

Tribe Name: Chippewa Cree Tribe of the Rocky Boy's Reservation

Tribe Name: Crow Tribe

Tribe Name: Eastern Shoshone Tribe

Tribe Name: Flandreau Santee Sioux Tribe

Tribe Name: Fort Peck Tribes

Tribe Name: Kiowa Indian Tribe THPO

Tribe Name: Lower Brule Sioux Tribe

Tribe Name: Rosebud Sioux Tribe

Tribe Name: Sisseton-Wahpeton Oyate of the Lake Traverse Reservation

TCNS# 281907 Referred Date: 12/22/2024 Location: 5120 Live Oak Canyon Road - IE25568A, La Verne, CA

Detailed Description of Project: 1971 SCE utility tower

Tribe Name: Soboba Band of Luiseno Indians

Tribe Name: Eastern Shoshone Tribe

Tribe Name: Santa Ynez Band of Chumash Indians

TCNS# 284487 Referred Date: 12/22/2024 Location: 4545 NW Kaiser Road - OR47640-A, Portland, OR

Detailed Description of Project: Existing stealth pole

Tribe Name: Confederated Tribes of the Grand Ronde Community of Oregon

Tribe Name: Confederated Tribes of the Warm Springs Reservation

Tribe Name: Eastern Shoshone Tribe

Tribe Name: Siletz Tribal Council

TCNS# 286053 Referred Date: 12/22/2024 Location: 73195 Cactus Dr. Unit H - IE04356A, Twentynine Palms, CA

Detailed Description of Project: Existing water tank

Tribe Name: Eastern Shoshone Tribe

Tribe Name: Fort Mojave Indian Tribe

Tribe Name: Morongo Band of Mission Indians

Tribe Name: Ramona Band of Cahuilla

Tribe Name: Soboba Band of Luiseno Indians

Tribe Name: Twenty Nine Palms Band of Mission Indians

LEGEND:

* - Notification numbers are assigned by the Commission staff for sites where initial contact was not made through TCNS.

APPENDIX 4
NEPA CHECKLIST



**FCC NEPA Checklist
SBA Site CA24329-S
352 East First Street
Calexico, Imperial County, CA 92231**

FCC NEPA Category	Applicable Consulting Agency and/or References	Preliminary Findings of Positive Effects and/or Conditional Approvals	Check appropriate box below		
			Yes	Potential	No
1. Will the facility be located in an officially designated wilderness area?	National Wilderness Preservation System website (http://www.wilderness.net) and USGS <i>Calexico, CA Quadrangle</i> topographic map		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will the facility be located within an officially designated wildlife preserve?	USFWS National Wildlife Refuge System website (http://pacific.fws.gov/) and USGS <i>Calexico, CA Quadrangle</i> topographic map		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Will the facility adversely affect listed and proposed threatened, or endangered or designated critical habitats?	USFWS, California Dept. of Fish and Wildlife, and Bio report	* The project is not anticipated to affect endangered, threatened, or special status species or critical habitats <i>as long as contractors are aware of the potential for nesting birds, especially between February 15 and August 30.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Will the facility adversely affect districts, sites, buildings, structures, or objects listed, or eligible for listing, in the National Register of Historic Places?	SHPO, NHPA, 2001 & 2005 Nationwide Programmatic Agreements, 2016 Amendment to NPA, 2014 & 2018 Report and Orders, and Cultural report		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Will the facility adversely affect Indian religious sites?	Tower Construction Notification System, Native American Heritage Commission; National NAGPRA Native American Online Consultation Database; THPO; Bureau of Indian Affairs; NHPA, 2001 & 2005 Nationwide Programmatic Agreements, 2016 Amendment to NPA, and 2014 & 2018 Report and Orders	*The project is not anticipated to have a negative effect on archeological or Native American resources or Indian religious sites <i>as long as Campo is consulted (which ACE sent the drawings and cultural report), and sacred sites are avoided with adequate buffer zones; all NEPA/CEQA/NAGPRA/CALNAGPRA laws be followed as appropriate, and to be immediately contacted on any changes or inadvertent discoveries, per the request of Campo and Viejas, respectively.</i> <i>It is worth noting that during the previous Section 106 process in 2023 for the prior proposed location/design for this site that the Band of the Kumeyaay Nation (Sycuan) had requested that a qualified Kumeyaay monitor be present during surveys, site visits, and ground disturbing activities.</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the facility be located in a 100 year Flood Plain?	Federal Emergency Management Agency website		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Will the facility construction involve significant change in surface features?	USFWS National Wetlands Inventory Map and USGS <i>Calexico, CA Quadrangle</i> topographic map		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. Will the antenna towers and/or supporting structures be equipped with High Intensity White Lights?	FAA and site plans dated 10/08/24 provided by the Client	*Not according to the site plans provided by the Client.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Will the facility result in human exposure to radiation in excess of the applicable safety standards?	N/A	*FCC-licensed Carrier's responsibility	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Will the facility will be over 450 feet above ground level (AGL)?	Site plans dated 10/08/24 and/or information provided by the Client	*Not according to the site plans provided by the Client	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The undersigned has reviewed and approved the completion of this FCC NEPA CHECKLIST for the above-mentioned site.

Prepared By:

Kerry Willoughby

Company: Ace Environmental, LLC

Printed Name:

Kerry Willoughby

Date:

January 11, 2025

SITE OVERVIEW

TYPE OF OCCUPANCY: TELECOMMUNICATIONS
PROJECT TYPE: DROP & SWAP
TOWER TYPE: SELF-SUPPORT
TOWER HEIGHT: 137-FT +/-
TOWER LATITUDE: 32°39'55.3391"N (32.665372°)
TOWER LONGITUDE: 115° 29'38.5004"W (-115.49402789°)
GROUND ELEVATION: 5.7-FT +/- AMSL (NAVD 88)
ZONING JURISDICTION: CALEXICO COUNTY
COUNTY: CALEXICO
PARCEL ID: 058-535-001
PARCEL AREA: 2.14
ZONED: COMMERCIAL SPECIALTY
TOWER LEASE AREA: 0.133 ACRES (5810 SF)
POWER COMPANY: IMPERIAL IRRIGATION DISTRICT
TELCO/FIBER COMPANY: SBC

PROJECT CONTACT DIRECTORY

LAND OWNER: CITY OF CALEXICO
PREPARED FOR: SBA COMMUNICATIONS CORPORATION
8051 CONGRESS AVENUE
BOCA RATON, FL 33487
CONTACT: GREG HINIS
SITE ENGINEER: DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL COURT
RALEIGH, NC 27609
CONTACT: RHEFT BUTLER, PE
(919) 342-8247

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING:

1. ANSI/TIA/EIA-222-G
2. LOCAL BUILDING CODE
3. CITY/COUNTY ORDINANCES
4. 2021 INTERNATIONAL RESIDENTIAL CODE
5. 2021 INTERNATIONAL BUILDING CODE
6. 2021 INTERNATIONAL FIRE CODE
7. 2021 INTERNATIONAL PLUMBING CODE
8. 2021 INTERNATIONAL MECHANICAL CODE
9. 2018 INTERNATIONAL FUEL GAS CODE
10. 2018 INTERNATIONAL ENERGY CONSERVATION CODE
11. 2020 NATIONAL ELECTRICAL CODE

GENERAL NOTES

- THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION, THEREFORE HANDICAP ACCESS IS NOT REQUIRED.
- A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE (APPROX. 1 TRIP PER MONTH).
- THE PROJECT WILL NOT RESULT IN SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE.
- NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED.
- NO COMMERCIAL SIGNAGE IS PROPOSED.

SHEET INDEX

SHEET NO.	DESCRIPTION	SHEET NO.	DESCRIPTION
T-1	TITLE SHEET	---	---
C-1	OVERALL PARCEL VIEW	---	---
C-2	SITE PLAN	---	---
C-3	EXISTING COMPOUND LAYOUT	---	---
C-3.1	PROPOSED COMPOUND LAYOUT	---	---
C-4	TOWER PROFILE	---	---
C-5	CIVIL DETAILS	---	---
C-6	CIVIL DETAILS	---	---
C-7	CIVIL DETAILS	---	---
G-1	GROUNDING PLAN	---	---
G-2	GROUNDING DETAILS	---	---
G-3	GROUNDING DETAILS	---	---
GN-1	GENERAL NOTES	---	---
LS-1	SURVEY SHEET 1	---	---
LS-2	SURVEY SHEET 2	---	---
---	---	---	---
---	---	---	---

CONSTRUCTION DRAWINGS

PROPOSED 137-FT SELF-SUPPORT



SBA COMMUNICATIONS CORPORATION
8051 CONGRESS AVENUE
BOCA RATON, FL 33487

SITE NAME
352 EAST FIRST STREET

SITE ID
CA24329-S
SITE COORDINATES

32°39'55.3391"N, 115° 29'38.5004"W

SITE ADDRESS
352 E 1ST ST
CALEXICO, CA 92231

VICINITY MAP



LOCAL MAP



DIRECTIONS

FROM CALEXICO INTERNATIONAL AIRPORT:
HEAD SOUTH HEAD SOUTH TOWARD ANZA RD 42 FT. TURN LEFT AT THE 1ST CROSS STREET ONTO ANZA RD 0.2 MI. CONTINUE ONTO W 2ND ST 0.8 MI. TURN RIGHT ONTO HEBER AVE 390 FT. TURN RIGHT ONTO E 1ST ST. DESTINATION WILL BE ON THE LEFT

PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM

Digitally signed
by Jiazhu Hu

Date:
2024.10.31
16:19:51



JIAZHU HU, PE
CALIFORNIA LICENSE NO. 75376
DELTA OAKS GROUP FIRM #38848

EXPIRES
12/31/25

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY

SITE NAME:

352 EAST FIRST STREET

SITE ADDRESS:

352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:

CA24329-S

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

AERIAL IMAGE

APPROX. TOWER LOCATION

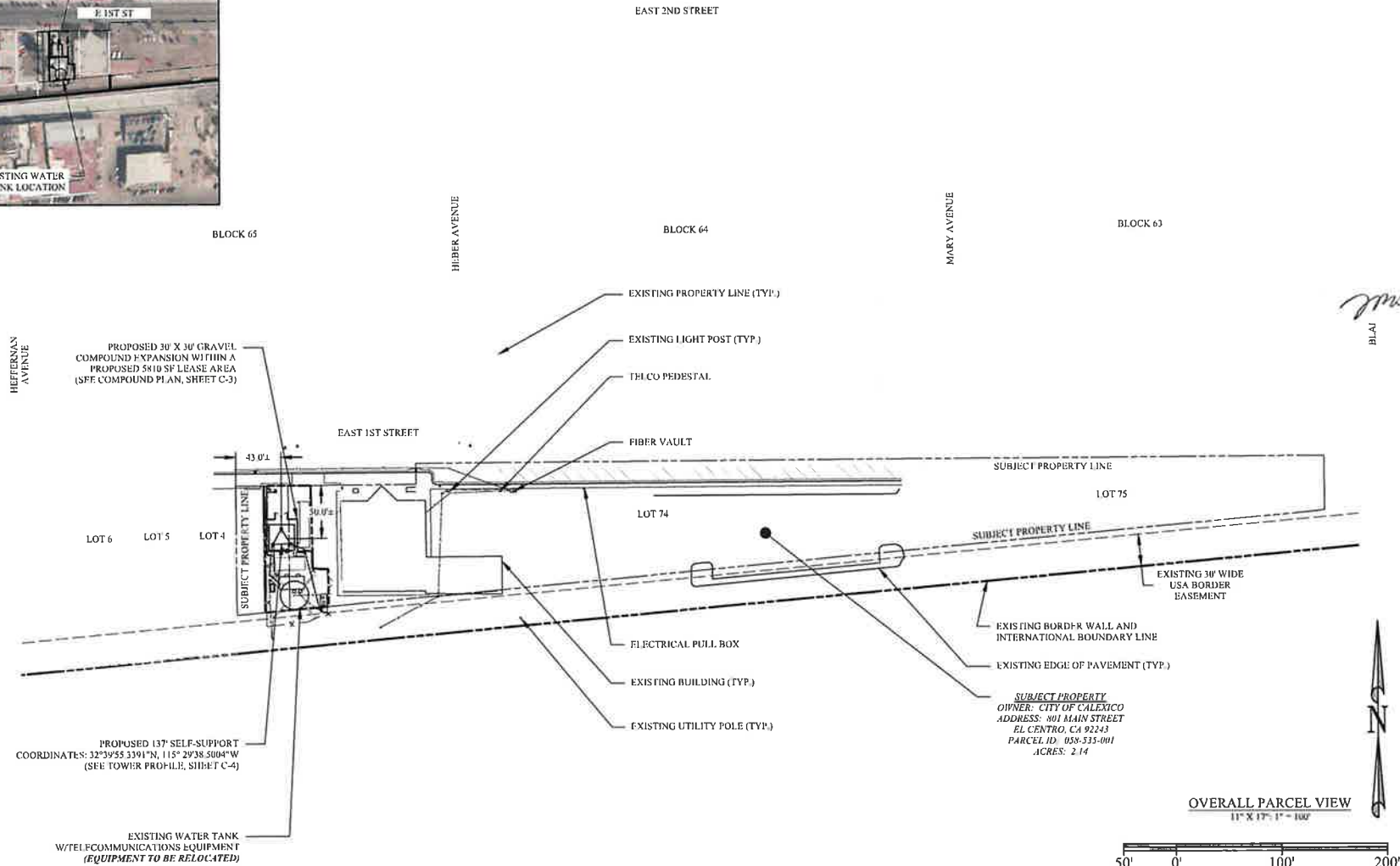
EXISTING WATER TANK LOCATION

JEFFERMAN AVE

HUBER AVE

21ST ST

<u>SITE DATA TABLE</u>	
TOWER LEASE AREA:	0.133 ACRES (5810 SF)
PARCEL AREA:	2.14 ACRES
ZONED:	COMMERCIAL SPECIALTY
PROPOSED USE:	137-FT SELF-SUPPORT TELECOMMUNICATIONS FACILITY



SBA 

PREPARED BY:



REGISTERED PROFESSIONAL ENGINEER
JIAZHU HU
C75376
CIVIL
STATE OF CALIFORNIA

EXPENSE
12/1/69

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY

SITE ADDRESS:

SITE ID:

SHEET TITLE

OVERALL PARCEL VIEW

SHEET NUMBER

C-1

LEGEND

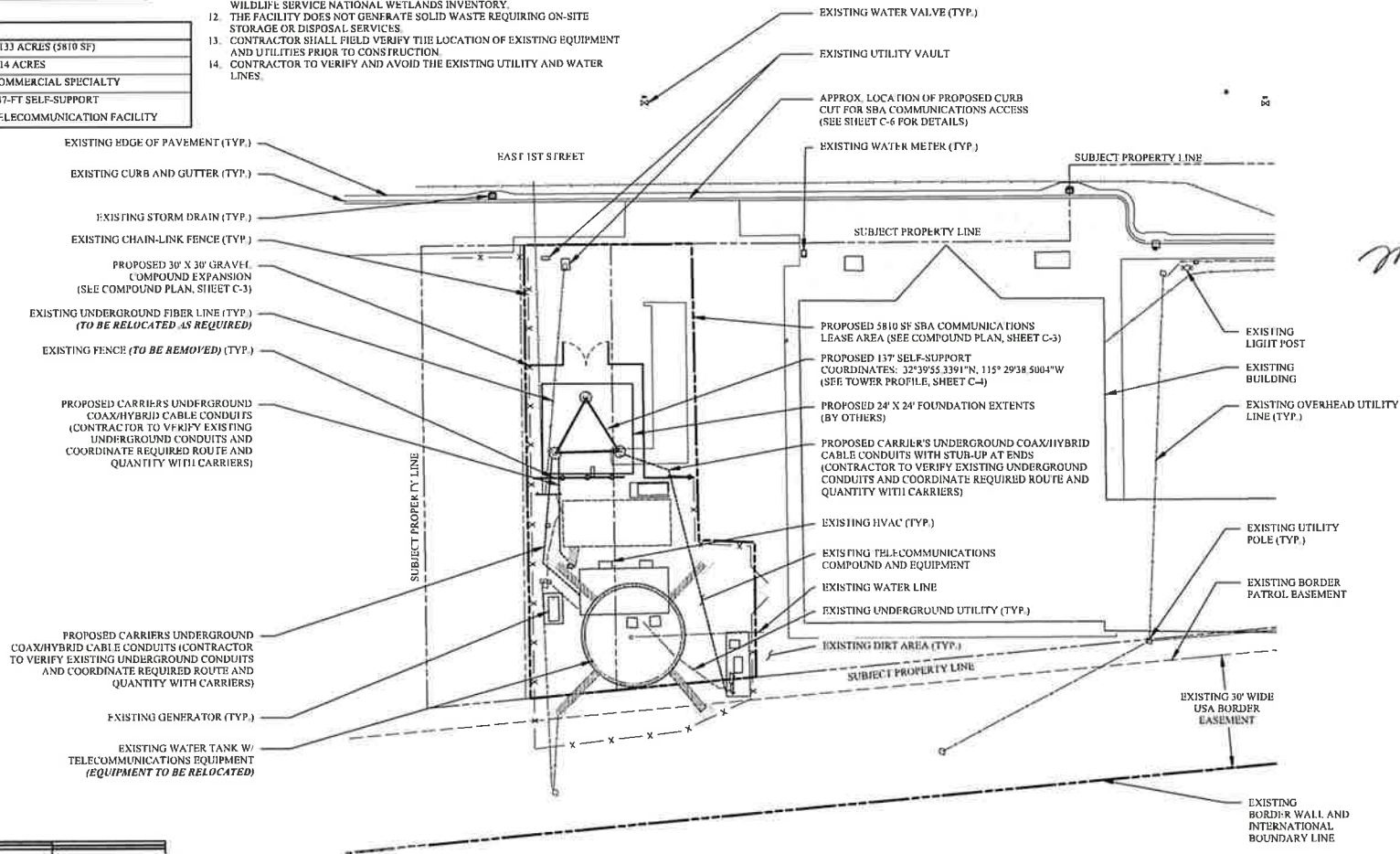
---	PROPERTY LINE/ROW
---	EXISTING EASEMENT
---	EXISTING LEASE AREA
X X	EXISTING FENCE
X X	PROPOSED FENCE
---	ROADWAY CENTERLINE
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT
OH	OVERHEAD UTILITY
---	EXISTING CONTOUR (MINOR)
---	EXISTING CONTOUR (MAJOR)
660.20	PROPOSED SPOT ELEV
---	EXISTING SPOT ELEV

SITE DATA TABLE

TOWER LEASE AREA:	0.133 ACRES (5810 SF)
PARCEL AREA:	2.14 ACRES
ZONED:	COMMERCIAL SPECIALTY
PROPOSED USE:	137-FT SELF-SUPPORT TELECOMMUNICATION FACILITY

NOTES

- SEE GENERAL NOTES ON SHEET GN-1.
- EXISTING TOPOGRAPHIC, UTILITY, PLANIMETRIC, AND BOUNDARY INFORMATION IS TAKEN FROM A SURVEY DRAWING TITLED "2400436 352 EAST FIRST STREET (CA24329-S)" BY RLF CONSULTING AND DATED 8/21/24.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE PROPOSED EQUIPMENT & TOWER AREA.
- AUTHORIZATION FOR WORK WITHIN PUBLIC R.O.W. SHALL BE OBTAINED BY THE CONTRACTOR.
- EROSION CONTROL MEASURES SHALL BE INSTALLED IN CONFORMANCE WITH LOCAL, COUNTY, AND STATE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- NO SIGNIFICANT NOISE, SMOKE, DUST, OR ODOR WILL RESULT FROM THIS FACILITY.
- THE SITE WILL GENERATE APPROX. 1 TRIP PER MONTH BY TECHNICIANS PERFORMING ROUTINE MAINTENANCE.
- THE FACILITY IS UNMANNED AND NOT INTENDED FOR HUMAN HABITATION. THERE IS NO HANDICAP ACCESS REQUIRED.
- THE FACILITY DOES NOT REQUIRE WATER OR SANITARY SEWER SERVICE.
- THE PROPOSED TOWER LEASE AREA IS LOCATED IN "ZONE X" PER FEMA FIRM #06025C2100C, WITH EFFECTIVE DATE OF SEPTEMBER 26, 2008.
- THERE ARE NO WETLANDS WITHIN THE PROJECT AREA PER US FISH AND WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY.
- THE FACILITY DOES NOT GENERATE SOLID WASTE REQUIRING ON-SITE STORAGE OR DISPOSAL SERVICES.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING EQUIPMENT AND UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY AND AVOID THE EXISTING UTILITY AND WATER LINES.



SITE PLAN

1" = 17'; 1" = 30'



PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM



JIAZHU HU, PE
CALIFORNIA LICENSE NO. 75376
DELTA OAKS GROUP FORM 425648

EXPIRES:
12/31/25

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY

SITE NAME:

352 EAST FIRST STREET

SITE ADDRESS:

352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:

CA24329-S

SHEET TITLE

SITE PLAN

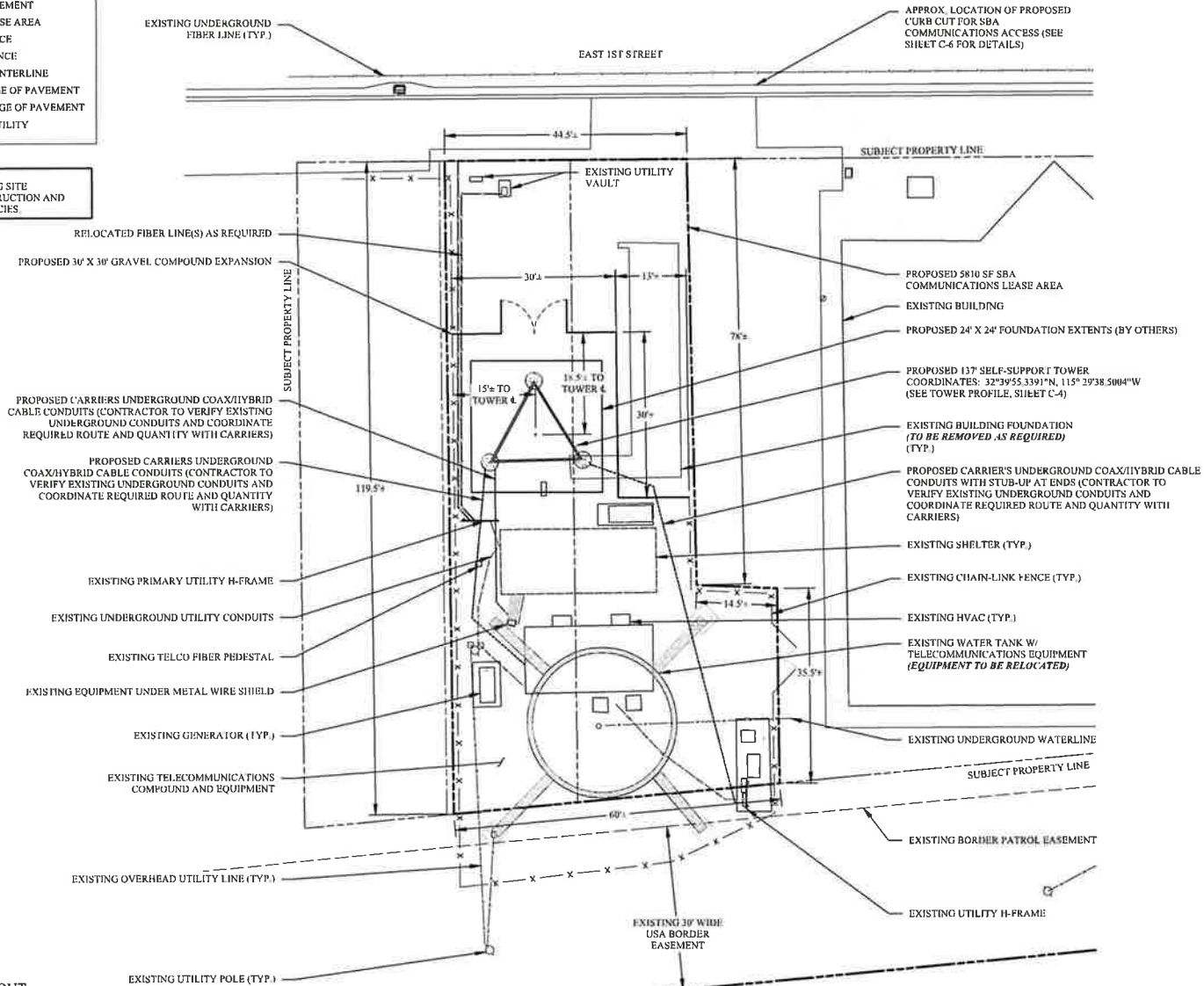
SHEET NUMBER

C-2

LEGEND

- PROPERTY LINE/ROW
- EXISTING EASEMENT
- EXISTING LEASE AREA
- x-x- EXISTING FENCE
- x-x- PROPOSED FENCE
- ROADWAY CENTERLINE
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- OH----- OVERHEAD UTILITY

NOTE:
CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS PRIOR TO TOWER CONSTRUCTION AND NOTIFY ENGINEER IF ANY DISCREPANCIES.



APPROX. LOCATION OF PROPOSED CURB CUT FOR SBA COMMUNICATIONS ACCESS (SEE SHEET C-6 FOR DETAILS)

PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (818) 342-8247
WWW.DELTAOAKSGROUP.COM



JIAZHU HU, PE
CALIFORNIA LICENSE NO. 75376
DELTA OAKS GROUP FIRM #25848

EXPIRES
12/31/25

SUBMITTALS

DATE	DESCRIPTION	REV	ISSUED BY

SITE NAME:

352 EAST FIRST STREET

SITE ADDRESS:

352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:

CA24329-S

SHEET TITLE

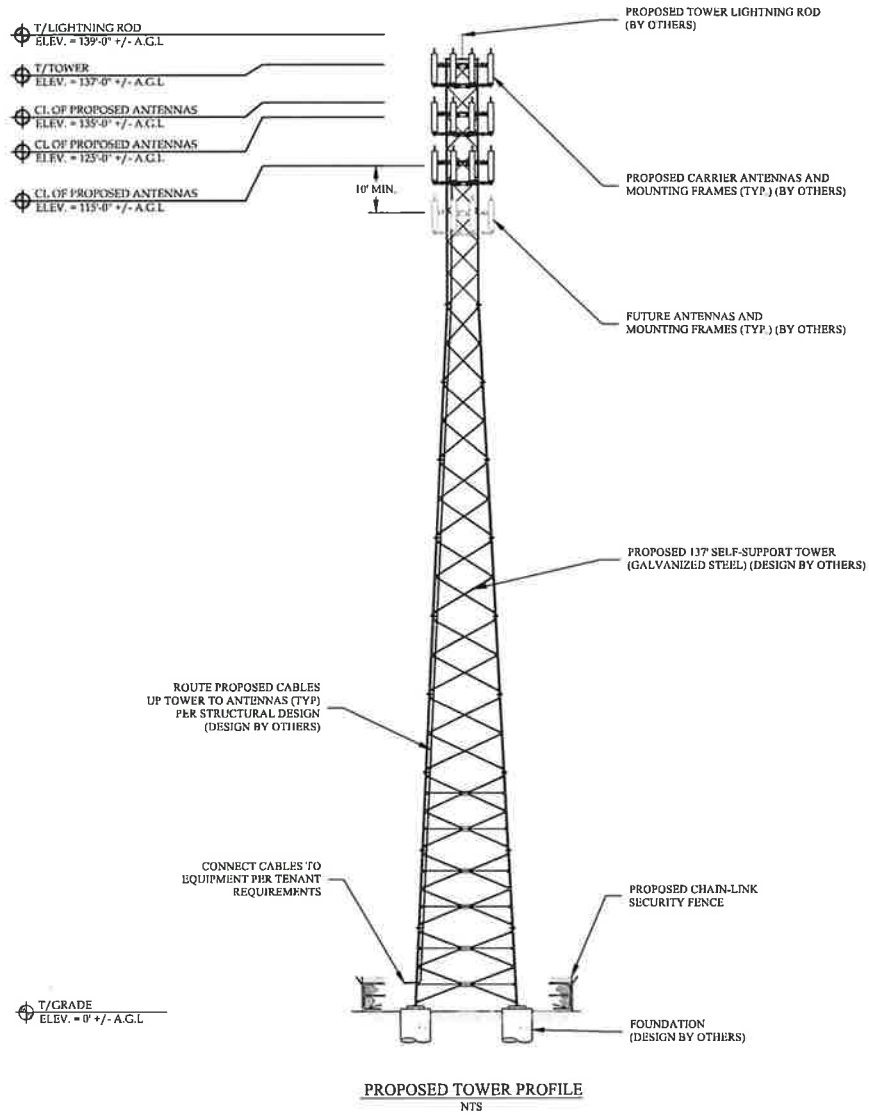
PROPOSED COMPOUND
LAYOUT

SHEET NUMBER

C-3.1

NOTES:

1. TOWER/ANTENNA MOUNT DESIGN BY OTHERS. NO WORK SHALL COMMENCE WITHOUT AN APPROVED TOWER/ANTENNA MOUNT STRUCTURAL ANALYSIS REPORT SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER UNDER SEPARATE COVER.
2. ALL PROPOSED CABLES SHALL BE ROUTED IN ACCORDANCE WITH THE APPROVED STRUCTURAL ANALYSIS AND ROUTED SUCH THAT ALL CABLES, WIRING, AND SIMILAR ATTACHMENTS ARE CONTAINED WITHIN THE MONOPOLE'S STRUCTURE.



PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM



JIAZHU HU, PE
CALIFORNIA LICENSE NO. 75376
DELTA OAKS GROUP FIRM #50448

EXPIRES:
12/31/25

SUBMITTALS			
DATE	DESCRIPTION	REV	ISSUED BY

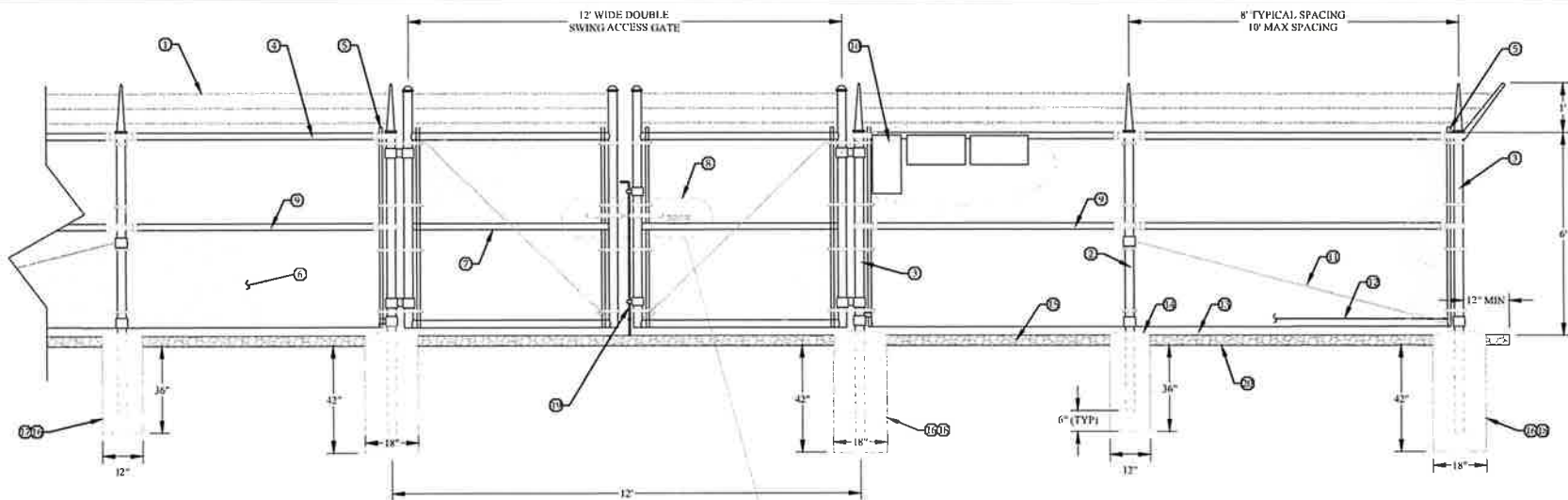
SITE NAME:
352 EAST FIRST STREET

SITE ADDRESS:
352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:
CA24329-S

SHEET TITLE
TOWER PROFILE

SHEET NUMBER
C-4



KEYNOTES:

- ① 3 STRANDS OF DOUBLE 12-1/2 GAUGE TWISTED STRAND WIRE, WITH 4 POINT 14 GAUGE BARBS SPACED 5" O.C.
- ② 2-1/2" NOMINAL GALVANIZED STEEL, SCHEDULE 40 INTERMEDIARY LINE POSTS (PER ASTM-F1083). LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10' O.C.
- ③ 3" O.D. GALVANIZED STEEL SCHEDULE 40 CORNER AND GATE POSTS (PER ASTM-F1083). IF GATE LEAF WIDTH GREATER THAN OR EQUAL TO 10-FT OR IF FENCE FABRIC EXTENDED OVER 6-FT AND GATE LEAF WIDTH OVER 6-FT, GATE POST SHALL BE 4" O.D. GALVANIZED STEEL SCHEDULE 40 (PER ASTM-F1083).
- ④ 1-5/8" O.D. SCHEDULE 40 ROUND TOP/BRACE RAIL (PER ASTM-F1083)
- ⑤ STRETCHER BAR TO EXTEND FULL HEIGHT OF FENCE FABRIC; NOT LESS THAN 1/4" X 1/4" CROSS SECTION; PLACE ON ALL GATES AND POSTS
- ⑥ 9 GAUGE 2" x 2" FENCE FABRIC (TO CONFORM TO ASTM-A392)
- ⑦ GATE FRAME BRACE
- ⑧ STYMIE LOCK OR OTHER APPROVED MULTI-TENANT LOCKING DEVICE
- ⑨ 1-5/8" DIAMETER POST BRACE (AS REQUIRED)
- ⑩ GATE SIGNS
- ⑪ 3/8" DIAGONAL BRACE ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD
- ⑫ 9 GAUGE ALUMINUM TIE WIRE. PROVIDE HOG RING FABRIC TIES SPACED 12" O.C. FOR POSTS AND GATES AND 24" O.C. FOR RAILS AND WIRE.
- ⑬ MAINTAIN A 1" MAXIMUM CLEARANCE FROM FINISHED GRADE
- ⑭ PROVIDE CROWNED/PITCHED FINISH FOR FENCE POST PIER FOUNDATIONS
- ⑮ COMPOUND SECTION AND MATERIALS
- ⑯ CONCRETE PIER FOUNDATION; TO ACHIEVE A MINIMUM STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DEPTH TO BE AS SPECIFIED HEREIN, AS SPECIFIED BY MANUFACTURER, OR A MINIMUM OF 6" BELOW FROST LINE, WHICHEVER IS GREATER
- ⑰ LINE POST CONCRETE PIER FOUNDATION
- ⑱ CORNER/GATE POST CONCRETE PIER FOUNDATION
- ⑲ COMMERCIAL GRADE DROP ROD AND CENTERSTOP (HOOVER FENCE OR EQUIV)
- ⑳ 4 OZ WEED BARRIER FABRIC (DEWITT WEED-BARRIER PRO 20-YR OR EQUIVALENT)

PROPOSED STYMIE
LOCK OR APPROVED
EQUAL (CONTRACTOR
TO SUPPLY LOCKS)

NOTES:

1. FENCE DESIGN AND INSTALLATION NOTES ARE INDUSTRY STANDARDS AND/OR MINIMUM REQUIREMENTS AND ARE FOR GENERAL GUIDANCE ONLY. REFER TO MANUFACTURER'S RECOMMENDATIONS OF THE SPECIFIED PRODUCT, AND APPLICABLE GOVERNING CODES FOR FULL INSTALLATION DETAILS. IN THE EVENT OF DISCREPANCIES, MANUFACTURER'S RECOMMENDATIONS OR APPLICABLE CODE SHALL GOVERN, WHICHEVER IS MORE STRINGENT.
2. ALL FENCING TO BE INSTALLED PER ASTM F-567, ALL SWING GATES TO BE INSTALLED PER ASTM F-900.
3. BARBED WIRE PERMIT REQUIRED SHALL BE COMPLETED IF LOCAL ORDINANCE REQUIRES.
4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDINGS SHALL BE COATED WITH (3) COATS OF GOLD GALV. (OR EQUAL). ALL OPEN POSTS SHALL HAVE END-CAPS.
5. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC USING GALVANIZED HOG-RING WIRE.
6. ALL SIGNS AND SIGN PLACEMENT SHALL ADHERE TO THE REQUIREMENTS OF OSIA 1910.145 AND 1910.200 AND ALL APPLICABLE FCC CODES
7. DROP ROD AND CENTERSTOP REQUIRED FOR GATE. GENERAL CONTRACTOR RESPONSIBLE FOR GATE LOCK.

PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM



JIAZHU HU, PE
CALIFORNIA LICENSE NO. 73376
DELTA OAKS GROUP FIRM #26846

EXPIRES:
10/31/25

SUBMITTALS

DATE	DESCRIPTION	REVIEWED BY

SITE NAME:

352 EAST FIRST STREET

SITE ADDRESS:

352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:

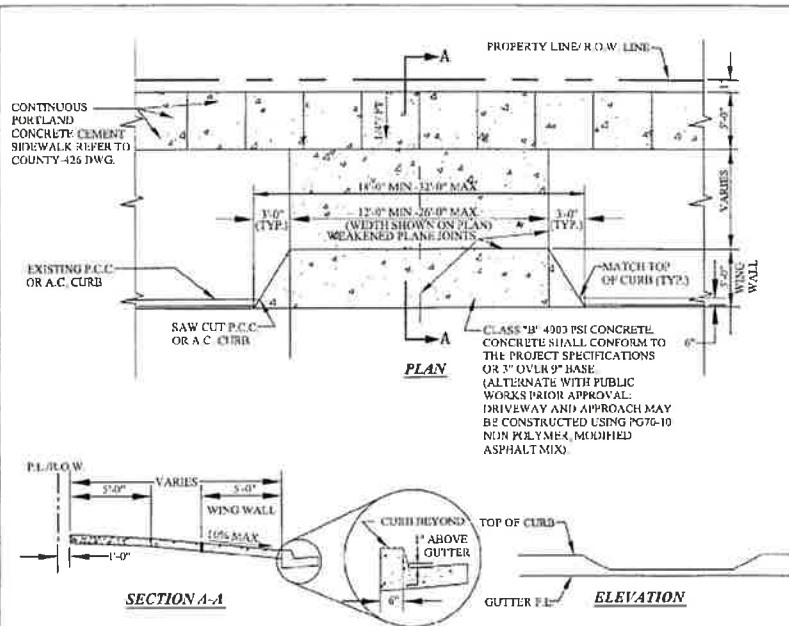
CA24329-S

SHEET TITLE

CIVIL DETAILS

SHEET NUMBER

C-5



NOT TO
SCALE



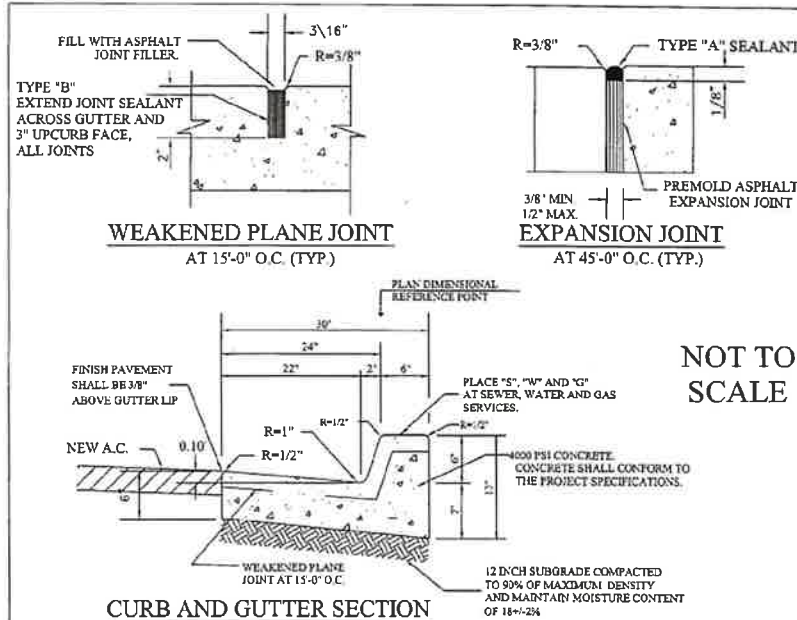
COUNTY of IMPERIAL
DEPARTMENT of PUBLIC WORKS
EL CENTRO, CALIFORNIA

RURAL CONCRETE DRIVEWAY FOR STREET WITH CURB

APPROVED BY:
William S. Brunet
WILLIAM S. BRUNET, P.E.
DIRECTOR of PUBLIC WORKS

DATE: 11/16/08

REVISIONS	BY	APPRO. DATE	CHECKED	DATE
			F.F.	08/29/08
			DRAWN	LL
			DATE	4/11A



NOT TO
SCALE

- NOTES
- EXPANSION JOINTS TO BE INSTALLED AT ALL B.C.'S, E.C.'S CURB RETURNS AND STRUCTURES IN ADDITION TO 45' O.C.
 - CURB AND GUTTER SHALL BE CLASS "3" CONCRETE WHICH SHALL ATTAIN A 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI IN ACCORDANCE WITH ASTM C39/C39M-99 AND SHALL CONTAIN 1-1/2 LBS. POLYPROPYLENE FIBER PER CUBIC YARD.
 - WIDTH OF STANDARD STREET SECTIONS SHOWN ON PLANS ARE TO CURB LINES UNLESS OTHERWISE INDICATED.
 - CURING COMPOUND SHALL BE SPRAYED UNIFORMLY ON EXPOSED SURFACES. HYDRO-CURE CLEAR CC-309-1W, OR APPROVED EQUAL.
 - WHEN CURB AND GUTTER IS PLACED BY AN EXTRUSION MACHINE MINOR FINISHING SHALL BE DONE TO PROVIDE AN ACCEPTABLE FINISH AND THE WEAKENED PLANE JOINT MAY BE SAWCUT.
 - ALL METAL FORM STAKES MUST HAVE PROTECTIVE DEVICES SUCH AS "MUSHROOMS" INSTALLED AT ALL TIMES DURING USE, TO ADEQUATELY INSURE THE PUBLIC SAFETY.
 - ALL EXPOSED SURFACES TO HAVE A SMOOTH TROWEL FINISH. DRY SACK FINISH WILL NOT BE ALLOWED.
 - THE CURB EDGES SHALL BE PLACED TRUE TO LINE AND GRADE. VERTICAL ELEVATIONS SHALL NOT VARY MORE THAN ±0.01' WITH A MAXIMUM VARIANCE OF 0.02' FROM DESIGN GRADE OCCURRING IN ANY GIVEN 100 FEET SECTION. THE HORIZONTAL CURB EDGES SHALL NOT VARY MORE THAN 1/4" INCH IN ANY GIVEN 100 FOOT SECTION.



COUNTY of IMPERIAL
DEPARTMENT of PUBLIC WORKS
EL CENTRO, CALIFORNIA

CURB AND GUTTER DETAIL

APPROVED BY:
William S. Brunet
WILLIAM S. BRUNET, P.E.
DIRECTOR of PUBLIC WORKS

DATE: 11/16/08

REVISIONS	BY	APPRO. DATE	CHECKED	DATE
			F.F.	08/29/08
			DRAWN	E.M.
			DATE	400

PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
4906 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM



JIAZHU HU, PE
CALIFORNIA LICENSE NO. 75376
DELTA OAKS GROUP FIRM #26848

EXPIRES:
12/31/25

SUBMITTALS

DATE	DESCRIPTION	REV. ISSUED BY

SITE NAME:

352 EAST FIRST STREET

SITE ADDRESS:

352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:

CA24329-S

SHEET TITLE

CIVIL DETAILS

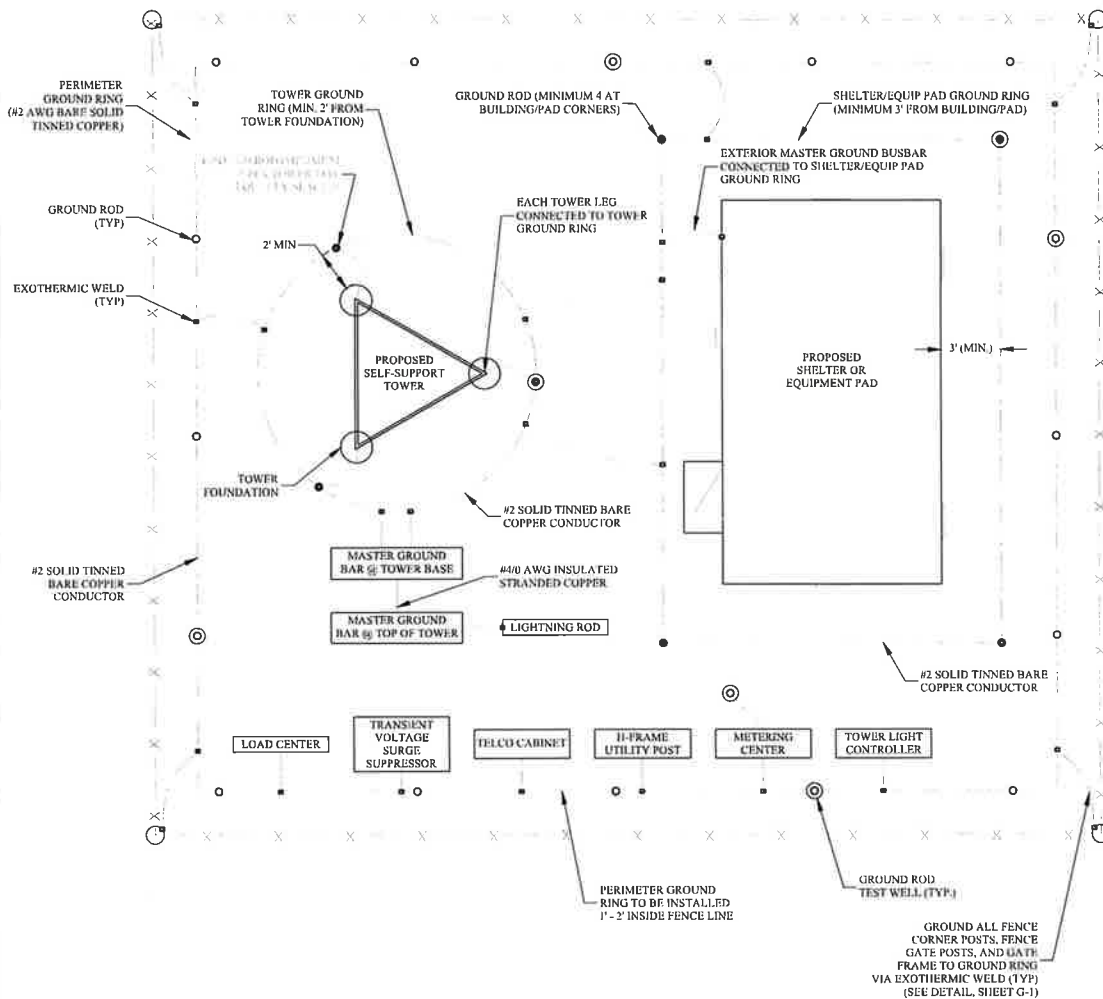
SHEET NUMBER

C-6

[illegible]

C-7

STANDARD GROUNDING SINGLE LINE DIAGRAM FOR SELF-SUPPORT TOWERS



NOTES:

- ALL GROUNDING SYSTEM SCHEMATICS/DIAGRAMS ARE INTENDED TO REPRESENT TYPICAL INSTALLATION SCENARIOS. VARYING SITE CONDITIONS MAY REQUIRE MODIFICATION OF THE DETAILS PRESENTED HEREIN. ALL GROUNDING SYSTEM GUIDELINES AND COMPONENTS SHOULD ADHERE TO THE SPECIFICATIONS SET FORTH IN THE LATEST VERSION OF TIA-607 OR THE NATIONAL ELECTRIC CODE, WHICHEVER IS MORE STRINGENT.
- SITE GROUNDING SYSTEM MUST ACHIEVE A RESISTANCE OF 5 OHMS OR LESS.
- ALL GROUND RINGS SHALL BE INSTALLED AT A MINIMUM DEPTH OF 2.5-FT BELOW GRADE OR 6-INCHES BELOW THE FROST LINE, WHICHEVER IS GREATER.
- ALL GROUND RODS SHALL BE INSTALLED TO A MINIMUM DEPTH OF 10-FT BELOW THE GROUND RING.
- TOWER GROUND RING SHALL BE BONDED TO SHELTER/EQUIP PAD GROUND RING AND PERIMETER GROUND RING IN (2) LOCATIONS. SHELTER/EQUIPMENT PAD GROUND RING SHALL BE BONDED TO THE PERIMETER GROUND RING IN (2) LOCATIONS.
- AT 1 SHELTER, EQUIPMENT PAD, AND TOWER FOUNDATIONS SHALL HAVE REBAR ELECTRICALLY CONNECTED TO THEIR ASSOCIATED GROUND RING (TOWER, SHELTER/EQUIP PAD) PER NEC 250.52(3)(A). FOUNDATION GROUNDING CONNECTIONS SHALL HAVE A MINIMUM COVER OF 3" OF CONCRETE AND SHALL BE MADE TO A MINIMUM 6' LENGTH OF REBAR (20' IS PREFERABLE).
- GROUND ALL CORNER FENCE POSTS, GATE POSTS, AND GATE FRAME TO THE GROUND RING VIA EXOTHERMIC WELD. GROUND ANY GATE POST WITHIN 6' OF A SHELTER/EQUIPMENT PAD OR 25-FT OF THE TOWER TO THE GROUND RING VIA EXOTHERMIC WELD.
- FOR TOWERS NOT EXCEEDING 5-FT IN BASE WIDTH, A MINIMUM OF (2) GROUND RODS SHOULD BE INCLUDED IN THE TOWER GROUND RING, SPACED OPPOSITE EACH OTHER.
- FOR SELF SUPPORT TOWERS EXCEEDING 5-FT IN BASE WIDTH, A MINIMUM OF ONE GROUND ROD PER TOWER LEG SHOULD BE INCLUDED IN THE TOWER GROUND RING.
- FOR MONOPOLES EXCEEDING 5-FT IN BASE WIDTH, THE GROUND RING SHOULD INCLUDE (4) GROUND RODS, EQUALLY SPACED; THERE SHOULD ALSO BE (4) BONDING CONDUCTORS CONNECTED TO THE MONOPOLE TOWER, EQUALLY SPACED.
- BOND PROPANE TANK(S), GENERATOR(S), AND ALL MISCELLANEOUS METALLIC EQUIPMENT TO THE SITE GROUNDING SYSTEM.
- GROUND ALL EXPOSED METALLIC OBJECTS ON THE BUILDING/SHELTER EXTERIOR.
- ALL CONDUITS CROSSING THE GROUND RING CONDUCTOR SHALL BE BONDED TO THE GROUND CONDUCTOR USING A PIPE CLAMP. DO NOT EXOTHERMICALLY WELD TO CONDUIT.
- GROUNDING CONDUCTORS SHALL NOT HAVE A RADIUS LESS THAN 8" OR AN ANGLE OF BEND LESS THAN 90 DEGREES.
- ALL BONDING CONNECTIONS SHALL BE MADE VIA EXOTHERMIC WELDING OR LISTED IRREVERSIBLE COMPRESSION OR MECHANICAL CONNECTORS. ALL BELOW GRADE CONNECTIONS SHOULD BE MADE VIA EXOTHERMIC WELD.
- ALL ABOVE GRADE CONNECTIONS EXTENDING BENEATH THE GROUND SURFACE SHOULD BE ENCASED IN 1" PVC FLEX CONDUIT THAT EXTENDS A MINIMUM 12" BELOW GRADE. ALL FLEX CONDUIT OPENINGS SHALL BE WEATHERPROOFED.
- UNLESS OTHERWISE NOTED, ALL EXTERIOR GROUNDING CONDUCTORS, INCLUDING GROUND RINGS, SHALL BE #2 AWG SOLID BARE TINNED COPPER. CONFIGURE ALL GROUNDING CONNECTIONS AS SHORT AND STRAIGHT AS POSSIBLE. GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED GROUND RING.
- ALL GROUND MECHANICAL AND COMPRESSION CONNECTIONS SHALL BE COATED WITH ANTI-OXIDANT AGENT.
- PROVIDE LOCK WASHERS FOR ALL MECHANICAL CONNECTIONS FOR GROUND CONDUCTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT.
- ALL LUG CONNECTIONS SHALL BE 2 HOLE LONG BARREL COMPRESSION TYPE OR APPROVED EQUAL.
- REMOVAL ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS. SURFACES SHOULD BE REPAINTED TO MATCH (AFTER CONNECTION IS MADE) TO MAINTAIN CORROSION RESISTANCE.
- REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING; USE SPRAY GALVANIZER.
- WHERE MECHANICAL CONNECTORS ARE USED, APPLY A LIBERAL PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND ON ALL CONNECTORS.
- THE TOWER BASE GROUND BUSBAR SHALL BE INSTALLED BELOW THE TRANSMISSION LINE GROUND KITS, NEAR THE AREA OF THE TOWER WHERE THE ANTENNA TRANSMISSION LINES TRANSITION FROM THE TOWER TO THE EQUIPMENT/ICE BRIDGE.
- CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHEN THE GROUND RING IS INSTALLED SO THAT IT CAN BE INSPECTED PRIOR TO BACKFILL.

PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7463

PREPARED BY:



DELTA OAKS GROUP, PLLC
4604 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM



JIAZHU HU, PE
CALIFORNIA LICENSE NO. 75376
DELTA OAKS GROUP FIRM #26648

EXPIRES:
12/31/25

SUBMITTALS		
DATE	DESCRIPTION	REV. ISSUED BY

SITE NAME:

352 EAST FIRST STREET

SITE ADDRESS:

352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:

CA24329-S

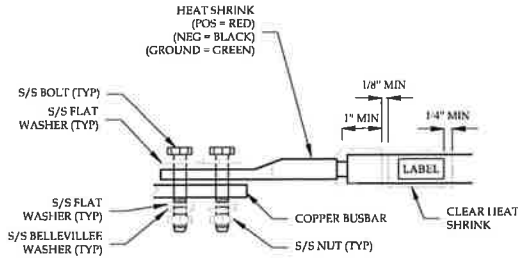
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GROUNDING PLAN

SHEET NUMBER

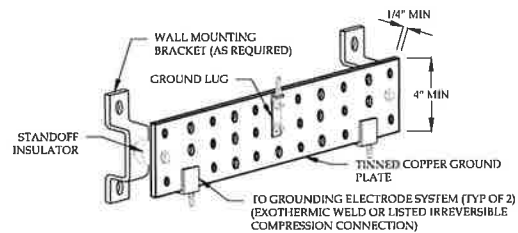
G-1

GROUND LUG DETAIL



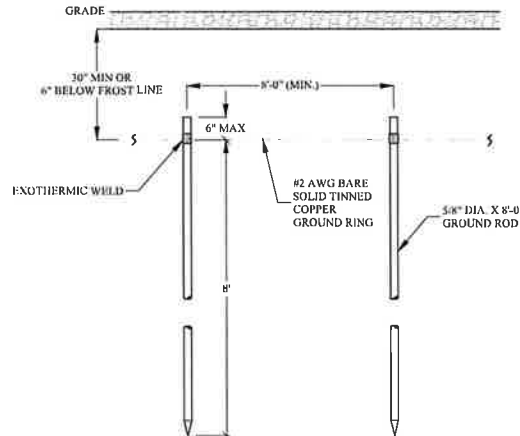
NOTES:
1. ALL GROUNDING SYSTEM COMPONENTS SHOULD ADHERE TO THE SPECIFICATIONS SET FORTH IN THE LATEST VERSION OF TIA-607 OR THE NATIONAL ELECTRIC CODE, WHICHEVER IS MORE STRINGENT

EXTERIOR GROUND BUSBAR



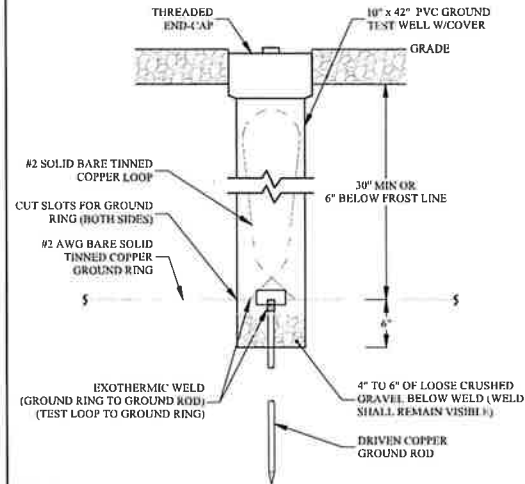
- NOTES:**
ALL BUSBARS
1. ALL GROUNDING SYSTEM COMPONENTS SHOULD ADHERE TO THE SPECIFICATIONS SET FORTH IN THE LATEST VERSION OF TIA-607 OR THE NATIONAL ELECTRIC CODE, WHICHEVER IS MORE STRINGENT.
2. GROUNDING CONDUCTORS SHALL NOT HAVE A RADIUS LESS THAN 8" OR AN ANGLE OF BEND LESS THAN 90 DEGREES.
3. WHEN MOUNTED ON WALLS OR OTHER SOLID SURFACES, GROUND BUSBAR(S) SHALL HAVE A MINIMUM 2" SEPARATION FROM THE SURFACE TO WHICH IT IS MOUNTED TO ALLOW ACCESS TO THE REAR OF THE BAR.
4. SHOULD BE CONNECTED DIRECTLY TO THE GROUNDING ELECTRODE SYSTEM VIA EXOTHERMIC WELD OR LISTED IRREVERSIBLE COMPRESSION CONNECTION. ALL BONDING CONNECTIONS SHALL BE MADE VIA EXOTHERMIC WELDING OR LISTED IRREVERSIBLE COMPRESSION OR MECHANICAL CONNECTORS. MECHANICAL AND COMPRESSION CONNECTORS SHOULD ONLY BE USED ABOVE GROUND.
SHELTER/EQUIPMENT BUSBAR
5. SHALL BE CONNECTED DIRECTLY TO THE GROUNDING ELECTRODE SYSTEM VIA NO. 2 AWG OR LARGER BARE, SOLID, TINNED COPPER CONDUCTOR.
TOWER BUSBAR
6. SHALL BE DIRECTLY BONDED TO THE TOWER.
7. SHALL BE INSTALLED AT THE TOP AND BOTTOM OF THE TOWER; WHEN TOWER IS GREATER THAN 200-FT IN HEIGHT, BUSBARS SHALL BE INSTALLED EVERY 50-FT AND BONDED TO THE TOWER AND TRANSMISSION LINE CABLE SHIELDS
8. SHALL BE CONNECTED DIRECTLY TO THE GROUNDING ELECTRODE SYSTEM VIA #2 AWG OR LARGER BARE, SOLID, TINNED COPPER CONDUCTOR.

GROUND ROD DETAIL



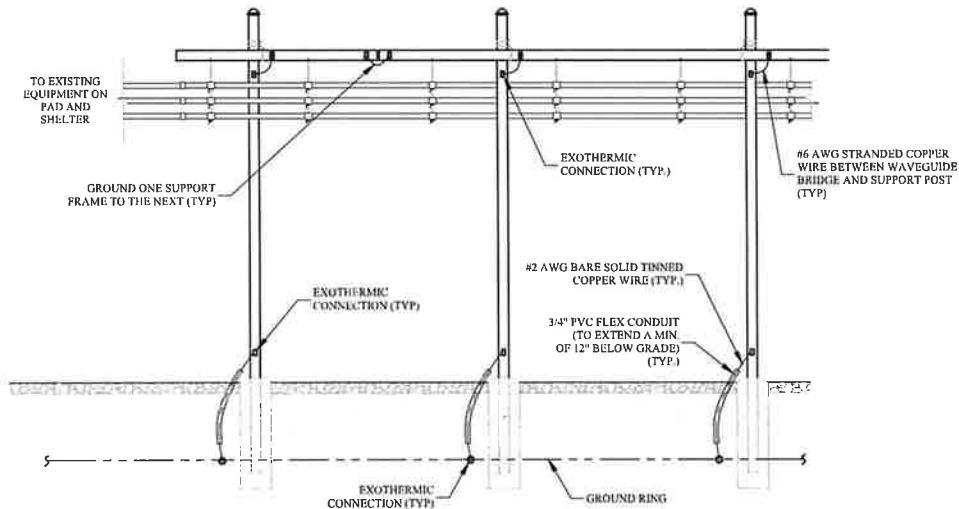
- NOTES:**
1. ALL GROUNDING SYSTEM COMPONENTS SHOULD ADHERE TO THE APPLICABLE SECTIONS OF THE MOTOROLA R56 "STANDARDS AND GUIDELINES FOR COMMUNICATIONS SITES", 2017 REV OR THE NATIONAL ELECTRIC CODE, WHICHEVER IS MORE STRINGENT
2. GROUND RODS SHALL BE Laterally SPACED NO CLOSER THAN A DISTANCE EQUAL TO THEIR LENGTH, BUT NO GREATER THAN TWICE THEIR LENGTH!
3. GROUND RODS SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45 DEGREES FROM VERTICAL.
4. ALL BONDING CONNECTIONS SHALL BE MADE VIA EXOTHERMIC WELDING

GROUND ROD TEST WELL DETAIL



- NOTES:**
1. ALL GROUNDING SYSTEM COMPONENTS SHOULD ADHERE TO THE APPLICABLE SECTIONS OF THE MOTOROLA R56 "STANDARDS AND GUIDELINES FOR COMMUNICATIONS SITES", 2017 REV OR THE NATIONAL ELECTRIC CODE, WHICHEVER IS MORE STRINGENT

ICE BRIDGE GROUNDING



PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
4804 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM



JIAZHU HU, PE
CALIFORNIA LICENSE NO. 75376
DELTA OAKS GROUP FIRM #25488

DATE: 12/21/25
BY: JH
CHECKED BY: JH
APPROVED BY: JH

SUBMITTALS		
DATE	DESCRIPTION	REV. ISSUED BY

DATE: 12/21/25
BY: JH
CHECKED BY: JH
APPROVED BY: JH

SITE NAME:
352 EAST FIRST STR.

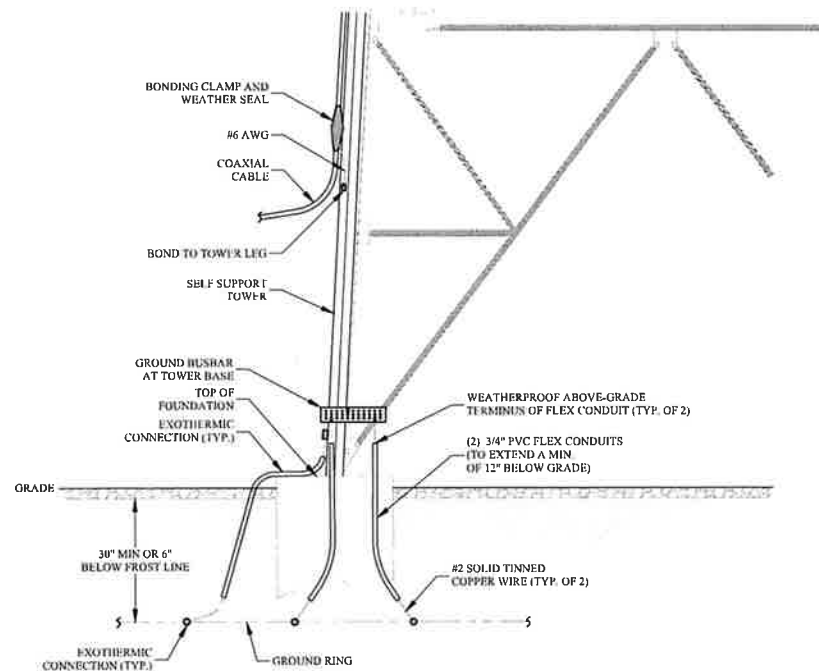
SITE ADDRESS:
352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:
CA24329-S

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-2

GROUNDING AT TOWER BASE



PREPARED FOR:



8051 CONGRESS AVE.
BOCA RATON, FL 33487
OFFICE: (800) 487-7483

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL COURT
RALEIGH, NC 27609
PHONE: (919) 342-8247
WWW.DELTAOAKSGROUP.COM



JIAZHU HU, PE
CALIFORNIA LICENSE NO. 75376
DELTA OAKS GROUP FIRM #26648

EXPIRES:
12/31/25

SUBMITTALS

DATE	DESCRIPTION	REVISED BY

SITE NAME:

352 EAST FIRST STRE

SITE ADDRESS:

352 E 1ST ST,
CALEXICO, CA 92231

SITE ID:

CA24329-S

SHEET TITLE

GROUNDING DETAILS

SHEET NUMBER

G-3

<div>GENERAL NOTES</div> <div><div>1. THE SCOPE OF WORK DEPICTED IN THIS PLANSET MUST BE COMPLETED UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE SUBSTANTIAL EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS PROJECT, THE CONTRACTOR IS CONFIRMING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY TO COMPLETE THE WORK, THAT HE IS KNOWLEDGEABLE OF THE SCOPE OF WORK TO BE PERFORMED, AND THAT HE IS LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE AND/OR COUNTY IN WHICH IT IS TO BE PERFORMED.</div><div>2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST VERSION OF THE LOCAL AND NATIONAL BUILDING CODE, WHICHEVER IS MORE STRINGENT.</div><div>3. SHOP DRAWINGS AND/OR MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS REGARDING ANY HARDWARE, INFRASTRUCTURE, OR MATERIALS SPECIFIED HEREIN SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING INFORMATION CONTAINED HEREIN.</div><div>4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS NOT PROVIDED BY OWNER. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED AND ANY AND ALL APPLICABLE STATE, COUNTY, AND LOCAL CODES.</div><div>5. THE CONTRACTOR SHALL VERIFY ALL EXISTING TOPOGRAPHY, DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS ARE AS INDICATED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL ESTABLISH THE LOCATION OF UNDERGROUND AND OVERHEAD UTILITIES AND SERVICES. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND OWNER'S ENGINEER FOR RESOLUTION AND/OR MODIFICATION PRIOR TO COMMENCEMENT OF THE WORK.</div><div>6. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.</div><div>7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET TO FULFILL THE SCOPE OF WORK AS REPRESENTED IN THIS PLAN SET, OBTAIN A CERTIFICATE OF OCCUPANCY, OR OTHERWISE ALLOW FOR THE FULL INTENDED USE OF THE PROPOSED FACILITY.</div><div>8. THESE PLANS/DRAWINGS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR ENGINEER SHALL NOT INCLUDE INSPECTION OF THE CONSTRUCTION PROCEDURES AND DOES NOT ALLEVIATE CONTRACTOR FROM THE FOREGOING. ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.</div><div>9. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE AND IMPLEMENT BOTH THE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE STRUCTURE, ALL SURROUNDING INFRASTRUCTURE, WORKSPACE, EMPLOYEES, AND PUBLIC DURING ERECTION AND/OR MODIFICATIONS. THIS INCLUDES BUT IS NOT LIMITED TO TEMPORARY BRACING, GUYS, TIE DOWNS, OR OTHER SUPPORTS THAT MAY BE NECESSARY DURING CONSTRUCTION.</div><div>10. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTION MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION.</div><div>11. IF DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS ARE DETERMINED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEVIATION AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR REVIEW. NO DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER AND/OR ENGINEER.</div><div>12. THE CONTRACTOR MUST, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIM, HIS EMPLOYEES, OR HIS WORK. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.</div><div>13. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS (INCLUDING THE GENERAL PUBLIC) AND PROPERTY (INCLUDING ADJOINING PROPERTIES). THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.</div></div>	<div>GENERAL NOTES (CONT.)</div> <div><div>13. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL WORK ASSOCIATED WITH THIS PROJECT COMPLIES WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY CODES AND OTHER REGULATIONS GOVERNING THE WORK.</div><div>14. ACCESS TO THE PROPOSED SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER OR THE OWNER'S REPRESENTATIVE REGARDING ALL CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIAL ACCESS.</div></div> <div>EXISTING INFRASTRUCTURE</div> <div><div>1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES IN THE AREA OF ANY PROPOSED CONSTRUCTION OR PROPOSED DISTURBANCE DUE TO CONSTRUCTION. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS LOCATE ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES AND IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS OR IF THERE APPEARS TO BE A CONFLICT BETWEEN EXISTING AND PROPOSED UTILITY LOCATIONS.</div></div> <div>UTILITIES</div> <div><div>1. CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING THE REQUIREMENTS AND LIMITS OF CLEARANCE FOR OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE.</div><div>2. ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND TESTED SATISFACTORILY PRIOR TO COMMENCING ANY PAVING ACTIVITY WHERE SUCH UTILITIES ARE WITHIN THE LIMITS OF PAVEMENT.</div><div>3. UNLESS OTHERWISE SPECIFIED HEREIN, MINIMUM COVER FOR CONDUITS SHALL BE 36-INCHES.</div></div> <div>PANEL SCHEDULE</div> <div><div>1. SERVICE BOND IS TO BE MADE BY DEVICES (STRAPS, SCREWS, ETC. SUPPLIED BY EQUIPMENT MANUFACTURER. IF NO SUCH DEVICE IS SUPPLIED, BOND IS TO BE MADE IN ACCORDANCE WITH NEC ARTICLE 250.</div><div>2. CONDUCTOR OVERCURRENT PROTECTION DEVICES ARE SELECTED IN ACCORDANCE WITH NEC ARTICLE 240-3.</div><div>3. CONDUCTOR SIZING IS SELECTED FROM NEC ARTICLE 310-16.</div><div>4. ALL LUGS THAT HOLD MORE THAN ONE WIRE SHALL BE LISTED FOR MULTI-BARREL CONNECTIONS.</div><div>5. ALL CONDUCTORS SHALL BE INSULATED THIN WIRE (UNLESS OTHERWISE NOTED).</div></div>	<div>SBA CONSTRUCTION REQUIREMENTS</div> <div><div>1. UPON ISSUANCE OF BID AWARD, CONTRACTOR WILL BE REQUIRED TO PROVIDE PROOF OF LICENSE TO PERFORM WORK IN APPLICABLE JURISDICTION.</div><div>2. CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE PRIOR TO COMMENCEMENT OF CONSTRUCTION. SCHEDULE SHALL BE UPDATED IMMEDIATELY AND SUBMITTED TO OWNER IN EVENT OF DELAYS OR REQUIRED TIME EXTENSIONS. ALL DELAYS AND/OR TIME EXTENSIONS WILL BE ACCOMPANIED BY EXPLANATIONS FOR EACH OCCURRENCE.</div><div>3. DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE OWNER OR OWNER'S REPRESENTATIVE WITH PHOTOGRAPHS OF MAJOR CONSTRUCTION MILESTONES AS THEY OCCUR.</div><div>4. CONTRACTOR OR CONTRACTOR'S REPRESENTATIVE SHALL BE PREPARED TO ATTEND WEEKLY CONFERENCE CALLS WHERE SPECIFIC DETAILS, INCLUDING PROGRESS REPORTS, UNFORSEEN SITE CONDITIONS, SCHEDULE CHANGES, SAFETY CONCERNS, ETC. REGARDING THE SITE WILL BE DISCUSSED.</div><div>5. CONTRACTOR WILL UTILIZE, ADHERE TO, AND SUBMIT (AS REQUIRED) ALL OWNER PROVIDED DOCUMENTATION.</div><div>6. CONTRACTOR IS RESPONSIBLE FOR CONDUCTION OF ALL CONCRETE COMPRESSIVE STRENGTH TESTING (INCLUDING THE SUBMITTAL OF FINAL TESTING RESULTS AND CLOSE-OUT BOOK).</div><div>7. CONTRACTOR IS RESPONSIBLE FOR ALL GRADING AND FILL COMPACTION TESTING REQUIRED AS SET FORTH IN THE GEO TECHNICAL REPORT PROVIDED BY OWNER.</div><div>8. CONTRACTOR IS RESPONSIBLE FOR GROUND MEG TESTING.</div><div>9. CONTRACTOR SHALL ASSIST IN COORDINATING AND OBTAINING PRIMARY POWER TO THE SITE PRIOR TO TOWER ERECTION. CONTRACTOR SHALL ALSO ASSIST IN COORDINATING AND OBTAINING TELCO/FIBER SERVICE PRIOR TO PROJECT COMPLETION (ON SITE VISITS WITH UTILITY COMPANY REPRESENTATIVES AS NECESSARY).</div><div>10. CONTRACTOR SHOULD BE PREPARED FOR RANDOM SAFETY INSPECTIONS AT ALL TIMES.</div><div>11. CONTRACTOR IS EXPECTED TO MAINTAIN PROPER WORKING CONDITIONS AND PROCEDURES PER OSHA STANDARDS AT ALL TIMES.</div><div>12. CONTRACTOR WILL BE REQUIRED TO OBTAIN ALL NECESSARY CONSTRUCTION AND/OR CLOSE-OUT RELATED PERMITS, INCLUDING ELECTRICAL PERMITS AND INSPECTIONS, CERTIFICATES OF OCCUPANCY, ETC. AS REQUIRED BY JURISDICTION.</div><div>13. CONTRACTOR IS EXPECTED TO CLOSE-OUT THE JOB SITE AS QUICKLY AS POSSIBLE (OBTAINING A CERTIFICATE OF OCCUPANCY AND GETTING OWNER'S SIGN-OFF ON THE SITE).</div><div>14. CONTRACTOR WILL PROVIDE A COMPLETED TOWER HEIGHT VERIFICATION FORM AND TAPE DROP WITHIN 24 HOURS OF REACHING OVERALL HEIGHT.</div></div>	<div><div>PREPARED FOR:</div><div><div><div>SBA</div><div></div></div><div>8051 CONGRESS AVE. BOCA RATON, FL 33487 OFFICE: (800) 487-7483</div></div><div><div>PREPARED BY:</div><div><div><div><div></div><div>DELTA OAKS</div></div><div>DELTA OAKS GROUP, PLLC 4904 PROFESSIONAL COURT FALEIGH, NC 27609 PHONE: (919) 342-8247 WWW.DELTAOAKSGROUP.COM</div></div></div><div><div><div>REGISTERED PROFESSIONAL JIAZHU HU C75376 CIVIL STATE OF CALIFORNIA</div><div><div>JIAZHU HU, PE CALIFORNIA LICENSE NO. 75376 DELTA OAKS GROUP FIRM #26448</div><div>EXPIRES 12/31/25</div></div></div><div><div>SUBMITTALS</div><table><thead><tr><th>DATE</th><th>DESCRIPTION</th><th>REVISED BY</th></tr></thead><tbody><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></tbody></table></div><div><div><div>SITE NAME:</div><div>352 EAST FIRST STRE.</div></div><div><div>SITE ADDRESS:</div><div>352 E 1ST ST, CALEXICO, CA 92231</div></div><div><div>SITE ID:</div><div>CA24329-S</div></div><div><div>SHEET TITLE</div><div>GENERAL NOTES</div></div><div><div>SHEET NUMBER</div><div>GN-1</div></div></div></div></div></div>	DATE	DESCRIPTION	REVISED BY																											
DATE	DESCRIPTION	REVISED BY																															

SURVEYOR NOTES

1. ALL TITLE INFORMATION IS BASED UPON A COMMITMENT FOR TITLE INSURANCE PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, ORDER NO. 31-22049227-01T, EFFECTIVE DATE, 08/20/2024.
2. SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
3. SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION, REMOVAL, RELOCATION AND/OR REPLACEMENT BE THE RESPONSIBILITY OF THE CONTRACTOR.

PROJECT META DATA

1. ELEVATIONS SHOWN HEREON ARE REPRESENTED IN NORTH AMERICAN VERTICAL DATUM OF 1989 (NAVD89) ESTABLISHED FROM GPS DERIVED ELLIPSOID HEIGHTS, APPLYING GEOID 128 DEPARTURES CONSTRUCTING TO NOS CORE STATIONS PROVIDED IN THE "ONLINE POSITIONING USER SERVICE" (OPUS) SOLUTION FOR THIS SPECIFIC SITE.
2. BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE 18, DETERMINED BY GPS OBSERVATIONS.
3. FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 05/28/24.

FLOOD ZONE DESIGNATION

THE PROPOSED LEASE PREMISES SHOWN HEREON APPEAR TO BE WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 66025C1100C DATED 09/20/2008.

FLOOD ZONE "X" IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.

PARENT PARCEL LEGAL DESCRIPTION (AS PROVIDED)

SITUATED IN THE CITY OF CALEXICO, COUNTY OF IMPERIAL, STATE OF CALIFORNIA:

LOTS 1, 2 AND 3 OF BLOCK 73, AND ALL OF BLOCK 74 AND 75 OF THE TOWNSITE OF CALEXICO, IN THE CITY OF CALEXICO, COUNTY OF IMPERIAL, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 811 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN DIEGO, A COPY OF WHICH BEING NORTH FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF IMPERIAL.

TOGETHER WITH THE SOUTH 20 FEET OF FIRST STREET AND THAT PORTION OF HEBER AVENUE BETWEEN BLOCKS 73 AND 74 AND LYING SOUTH OF THE NORTH LINE OF THE SOUTH 20 FEET OF 1ST STREET, ALL AS VACATED AND CLOSED TO PUBLIC USE BY RESOLUTION OF THE CITY COUNCIL, OF THE CITY OF CALEXICO.

EXCEPTING THEREFROM THE WEST 26 FEET OF SAID LOT 3 AS GRANTED TO THE UNITED STATES OF AMERICA BY DEED RECORDED JULY 24, 1951 AS INSTRUMENT NO. 8, IN BOOK 817, PAGE 476 OF OFFICIAL RECORDS.

BEING THE SAME PROPERTY CONVEYED TO CALEXICO TOWN COMPANY, A CORPORATION, GRANTEE, FROM IMPERIAL LAND COMPANY, GRANTOR, BY INSTRUMENT RECORDED 08/12/1984 AS BOOK 349, PAGE 507 OF THE IMPERIAL COUNTY RECORDS.

BEING THE SAME PROPERTY CONVEYED TO THE CITY OF CALEXICO, A MUNICIPAL CORPORATION, GRANTEE, FROM IMPERIAL VALLEY IMPROVEMENT COMPANY, GRANTOR, BY INSTRUMENT RECORDED 01/05/1916, AS BOOK 328, PAGE 354 OF THE IMPERIAL COUNTY RECORDS.

BEING THE SAME PROPERTY CONVEYED TO THE CITY OF CALEXICO, A MUNICIPAL CORPORATION, GRANTEE, FROM IMPERIAL VALLEY IMPROVEMENT COMPANY, GRANTOR, BY INSTRUMENT RECORDED 01/05/1916, AS BOOK 328, PAGE 355 OF THE IMPERIAL COUNTY RECORDS.

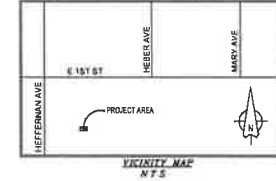
BEING THE SAME PROPERTY CONVEYED TO THE CITY OF CALEXICO, A MUNICIPAL CORPORATION, GRANTEE, FROM E. CARRILLO AND FRANCISCA DE CARRILLO HIS WIFE, GRANTOR, BY INSTRUMENT RECORDED 10/29/1910, AS BOOK 350, PAGE 206 OF THE IMPERIAL COUNTY RECORDS.

TAX ID: 055-535-001-000

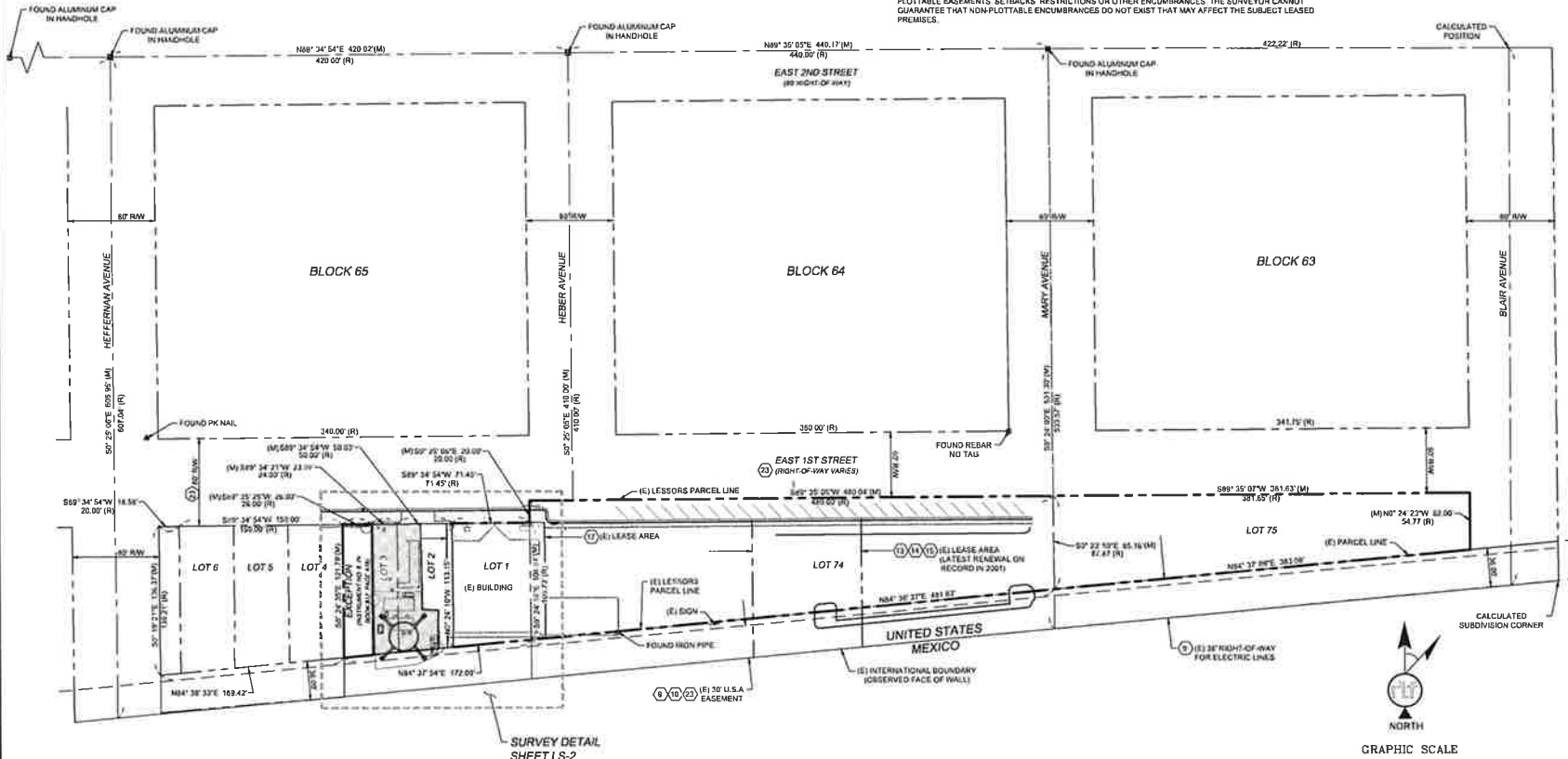
SCHEDULE B EXCEPTIONS

1. SUBJECT TO COVENANTS, RESTRICTIONS, RESERVATIONS, EASEMENTS AND RIGHTS OF WAY AND BUILDING SETBACKS, IF ANY, AS SHOWN ON THE MAP OF HAZARD & STRONG'S SUBDIVISION OF THE COON RANCH AS RECORDED IN VOLUME 314, BOOK 001, RECORDED 11/11/1910 IN IMPERIAL COUNTY RECORDS. (DOES NOT AFFECT PARENT PARCEL OR LEASE AREA)
2. EASEMENT DEED IN FAVOR OF IMPERIAL VALLEY IMPROVEMENTS COMPANY, A CORPORATION, AND IMPERIAL IRRIGATION DISTRICT, A QUASI-MUNICIPAL CORPORATION, RECORDED 01/12/1948, AS INSTRUMENT NO. 1948-0112016, OF THE IMPERIAL COUNTY RECORDS. (DOES NOT AFFECT PARENT PARCEL OR LEASE AREA)
3. CORRECTED ACCEPTANCE, RECORDED 02/19/1948, IN INSTRUMENT NO. 1948-0218014, OF THE IMPERIAL COUNTY RECORDS. (DOES NOT AFFECT PARENT PARCEL OR LEASE AREA)
4. RIGHT OF WAY IN FAVOR OF CALIFORNIA ELECTRIC POWER COMPANY, RECORDED 07/31/1952 IN INSTRUMENT NO. 1952-0731006, BOOK 842, PAGE 577, OF IMPERIAL COUNTY RECORDS. (DOES NOT AFFECT PARENT PARCEL OR LEASE AREA)
5. SUBJECT TO THE TERMS AND CONDITIONS OF LEASE BY AND BETWEEN CITY OF CALEXICO, LESSOR, LESSOR(S) AND THE UNITED STATES OF AMERICA, LESSEE(S), RECORDED 06/20/1993 AS INSTRUMENT NO. 1993-0620110, BOOK 1151, PAGE 553, OF THE IMPERIAL COUNTY RECORDS. (AFFECTS PARENT PARCEL, DOES NOT AFFECT LEASE AREA)
6. SUBJECT TO THE TERMS AND CONDITIONS OF LEASE BETWEEN CITY OF CALEXICO, CALIFORNIA AND THE UNITED STATES OF AMERICA, RECORDED 02/15/1995, IN INSTRUMENT NO. 1995-0215068, BOOK 1261, PAGE 485, OF THE IMPERIAL COUNTY RECORDS. (AFFECTS PARENT PARCEL, DOES NOT AFFECT LEASE AREA)
7. SUBJECT TO THE TERMS AND CONDITIONS OF LEASE BETWEEN CITY OF CALEXICO AND THE UNITED STATES OF AMERICA, RECORDED 03/09/1996, IN INSTRUMENT NO. 1996-0309049, BOOK 1224, PAGE 152, OF THE IMPERIAL COUNTY RECORDS. (AFFECTS PARENT PARCEL, DOES NOT AFFECT LEASE AREA)
8. SUBJECT TO THE TERMS AND CONDITIONS OF COMMERCIAL LEASE AGREEMENT BY AND BETWEEN THE CITY OF CALEXICO, LANDLORD, AND VALLEY ORTHOPAEDIC CLINIC, INC., TENANT, RECORDED 06/13/2001, IN BOOK 2055, PAGE 217, OF THE IMPERIAL COUNTY RECORDS. (AFFECTS PARENT PARCEL, DOES NOT AFFECT LEASE AREA)
9. LEASE AGREEMENT BETWEEN THE CITY OF CALEXICO, LESSOR, AND VALLEY ORTHOPAEDIC CLINIC, INC., LESSEE, RECORDED 08/07/2018, IN INSTRUMENT NO. 2018015277, OF THE IMPERIAL COUNTY RECORDS. (AFFECTS PARENT PARCEL, DOES NOT AFFECT LEASE AREA)

ITEMS 1-6 & 8-11, 15 AND 19-22 OF THE CLIENT PROVIDED TITLE REPORT DO NOT CONTAIN GRAPHICALLY PLOTTABLE EASEMENTS, SETBACKS, RESTRICTIONS OR OTHER ENCUMBRANCES. THE SURVEYOR CANNOT GUARANTEE THAT NON-PLOTTABLE ENCUMBRANCES DO NOT EXIST THAT MAY AFFECT THE SUBJECT LEASED PREMISES.



OWNERSHIP INFO:
THE CITY OF CALEXICO,
A MUNICIPAL CORPORATION
058-585-001-000
BK 028 PG 354; BK 028 PG 355;
AND BK 050 PG 206



SBA COMMUNICATIONS CORPORATION
4801 CONCRETE AVENUE
BOCA RATON, FL 33497-0007
PHONE 1-800-487-7463



FIELD BY:	CEF
DRAWN BY:	JTS/GAC
CHECKED BY:	RLF

REVISIONS		
NO.	DATE	DESCRIPTION
2	08/21/24	FINAL
1	08/19/24	TITLE REVIEW
0	08/17/24	TITLE REVIEW



REUSE OF DOCUMENT
THE IDEAS & DESIGN INCORPORATED HEREON AS AN INSTRUMENT OF PROFESSIONAL SERVICE ARE THE PROPERTY OF RLF CONSULTING, LLC. USED FOR ANY OTHER PROJECT WITHOUT AUTHORIZATION OF RLF CONSULTING.

PROJECT NO:
2400436

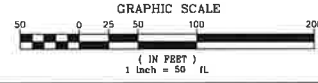
SITE NAME:
**352 EAST FIRST STREET
(CA24329-S)**

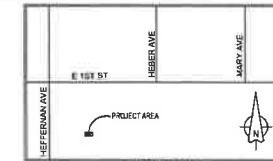
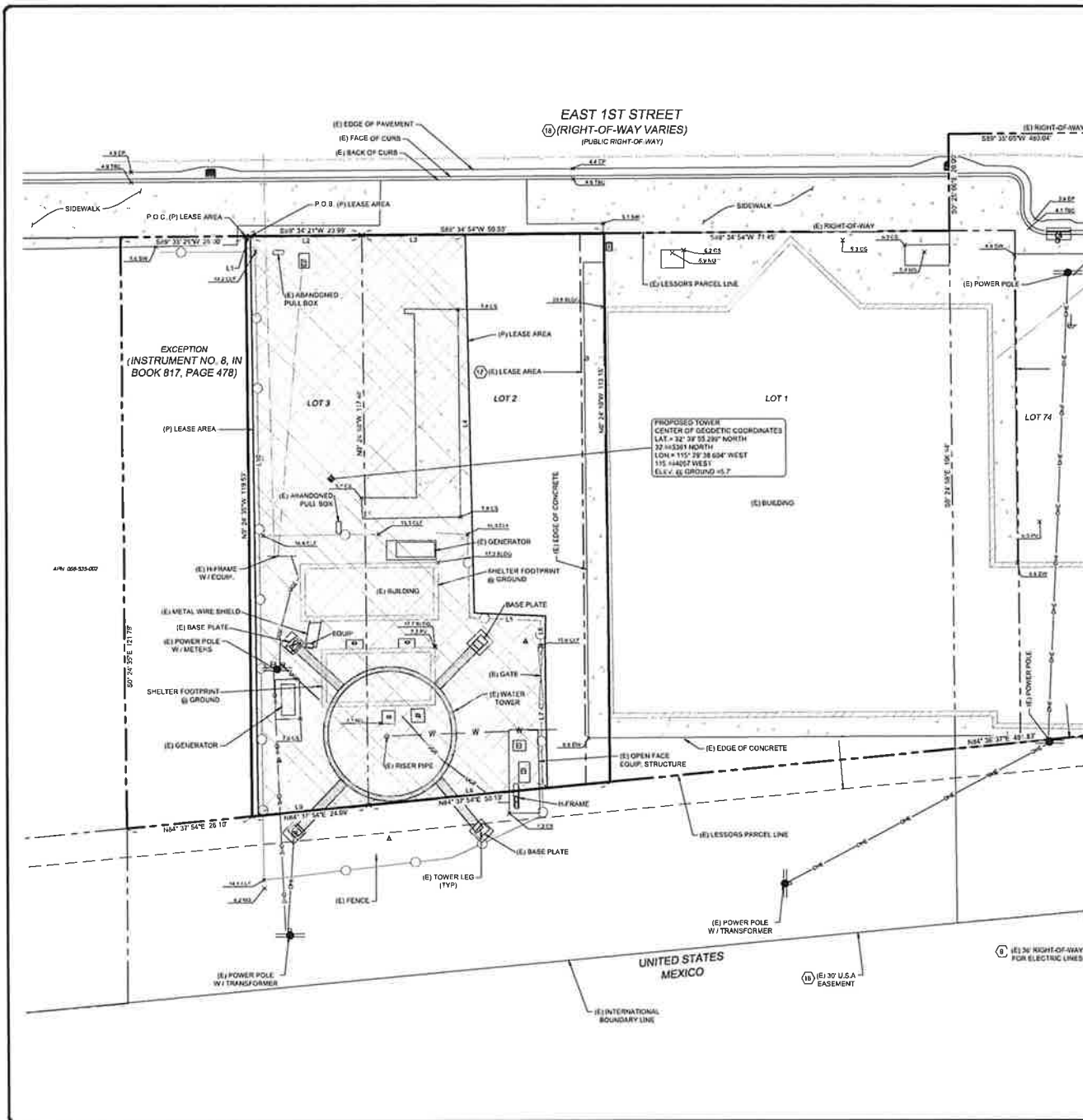
SITE ADDRESS:
**352 E 1ST ST
CALEXICO, CA 92231**

SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NO.
LS-1

REVISION
2





LEGEND

- IRON PIPE
- ▲ NAIL W/ TAG
- AIR CONDITIONING UNIT
- ELECTRICAL PULL BOX
- ELECTRIC METER
- ELECTRIC SWITCH
- ELECTRIC CABINET
- ELECTRIC VAULT
- GENERATOR
- TELEPHONE PEDESTAL
- TELEPHONE VAULT
- POWER POLE
- POWER POLE W/ TRANSFORMER
- DOWN DUTY
- LIGHT POST
- WATER METER
- SANITARY SEWER CLEANOUT
- STORM DRAIN GRATE
- CATCH BASIN
- PALM TREE
- DECIDUOUS TREE
- SIGN
- SPOT ELEVATION
- POSITION OF GEODETIC COORDINATES
- PROPERTY LINE
- PROPERTY LINE (OTHER)
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- CHAIN LINK FENCE
- OVERHEAD ELECTRIC LINE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT

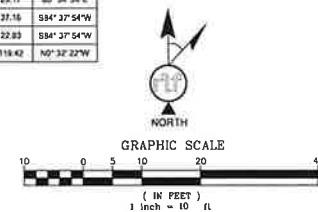
LESSEE LEASE AREA LEGAL DESCRIPTION

A PORTION OF LOTS 2 AND 3 OF BLOCK 72, OFF THE TOWNSHIP OF CALEXICO, IN THE COUNTY OF CALEXICO, COUNTY OF IMPERIAL, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 811 ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF SAN DIEGO, A COPY OF WHICH BEING NORTH FILE IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF IMPERIAL, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 3; THENCE ALONG THE NORTH LINE OF SAID LOT NORTH 88° 34' 21" EAST, A DISTANCE OF 0.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 88° 34' 21" EAST, A DISTANCE OF 23.00 FEET TO THE NORTHEAST CORNER OF SAID LOT, ALSO BEING THE NORTHWEST CORNER OF LOT 2, THENCE ALONG THE NORTH LINE OF SAID LOT 2 NORTH 84° 37' 54" EAST, A DISTANCE OF 21.30 FEET; THENCE DEPARTING SAID LINE SOUTH 01° 05' 25" EAST, A DISTANCE OF 78.05 FEET; THENCE SOUTH 87° 03' 37" EAST, A DISTANCE OF 14.74 FEET; THENCE SOUTH 00° 31' 17" WEST, A DISTANCE OF 0.08 FEET; THENCE SOUTH 00° 34' 56" EAST, A DISTANCE OF 29.17 FEET TO THE SOUTH LINE OF SAID LOT 2; THENCE SOUTH 84° 37' 54" WEST, A DISTANCE OF 37.16 FEET TO THE SOUTHWEST CORNER OF SAID LOT 2, ALSO BEING THE SOUTHEAST CORNER OF LOT 3; THENCE ALONG THE SOUTH LINE OF SAID LOT 3 SOUTH 84° 37' 54" WEST, A DISTANCE OF 22.83 FEET; THENCE DEPARTING SAID LINE NORTH 00° 32' 52" WEST, A DISTANCE OF 119.42 FEET TO THE POINT OF BEGINNING.

LINE	LENGTH	BEARING
L1	0.00	N88° 34' 21"E
L2	23.00	N88° 34' 21"E
L3	21.30	N84° 37' 54"E
L4	78.05	S1° 05' 25"E
L5	14.74	S87° 03' 37"E
L6	8.29	S0° 32' 17"W
L7	29.17	S0° 34' 56"E
L8	37.16	S84° 37' 54"W
L9	22.83	S84° 37' 54"W
L10	119.42	N0° 32' 22"W



SBA COMMUNICATIONS CORPORATION
805 CONCRETE AVENUE
BOCA RATON, FL 33487-0077
PHONE 1-800-487-7803



FIELD BY: CEF
DRAWN BY: JTS/GAC
CHECKED BY: RLF

REVISIONS

NO.	DATE	DESCRIPTION
2	08/21/24	FINAL
1	08/19/24	TITLE REVIEW
0	06/17/24	TITLE REVIEW



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PROJECT NO.
2400436
SITE NAME:
352 EAST FIRST STREET
(CA24329-S)
SITE ADDRESS:
352 E 1ST ST
CALEXICO, CA 92231

SHEET TITLE:
SURVEY DETAIL

SHEET NO.
LS-2
REVISION
2



VISUAL IMPACT ASSESSMENT

PHOTO SIMULATIONS

352 EAST FIRST STREET
CA24329-S

352 EAST FIRST STREET
CALEXICO, CA 92231

DELTA OAKS PROJECT 23-16005

PREPARED FOR:

SBA COMMUNICATIONS CORPORATION



8051 CONGRESS AVENUE
BOCA RATON, FL 33487
SBASITE.COM

PHOTOGRAPH LOCATION MAP



PREPARED FOR:



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BOCA RATON, FL 33487
SBASITE.COM

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL CT
RALEIGH, NC 27609
DELTAOAKSGROUP.COM

SITE NAME:

352 EAST FIRST STREET

SITE ID:

CA24329-S

SITE ADDRESS:

352 EAST FIRST STREET
CALENICO, CA 92231

LEGEND:



- PROPOSED TOWER LOCATION



- PHOTO LOCATION (VISIBLE)





- PHOTO LOCATION
(OBSTRUCTED VISIBLE)



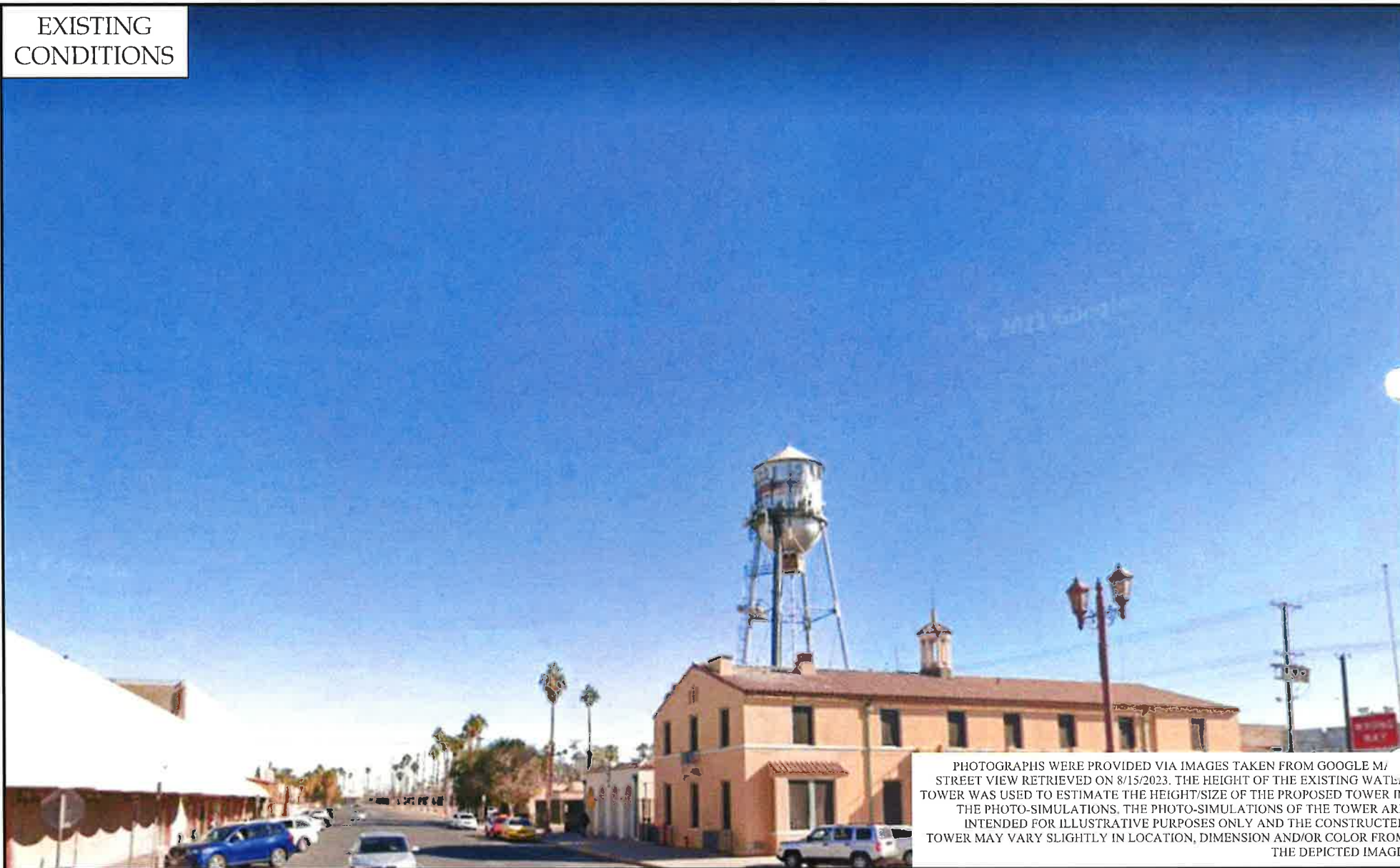
- PHOTO LOCATION (NOT VISIBLE)

SIMULATION



PREPARED FOR:  SBA COMMUNICATIONS CORPORATION 8051 CONGRESS AVENUE BOCA RATON, FL 33487 SBASITE.COM	PREPARED BY:  DELTA OAKS GROUP, PLLC 4904 PROFESSIONAL CT RALEIGH, NC 27609 DELTAOAKSGROUP.COM	<u>SITE NAME:</u> 352 EAST FIRST STREET	<u>PHOTO NUMBER</u> 1 (LOCATION 1)	<u>DISTANCE TO SITE</u> 0.11 MILES
		<u>SITE ID:</u> CA24329-S	<u>PHOTO COORDINATES</u> 32.665597°N, 115.492066°W	<u>PHOTO AZIMUTH</u> 260°
		<u>SITE ADDRESS:</u> 352 EAST FIRST STREET CALEXICO, CA 92231	<u>LOCATION OF PHOTO</u> HEBER AVE	<u>SHEET NUMBER</u> 2

EXISTING
CONDITIONS



PHOTOGRAPHS WERE PROVIDED VIA IMAGES TAKEN FROM GOOGLE M/ STREET VIEW RETRIEVED ON 8/15/2023. THE HEIGHT OF THE EXISTING WATER TOWER WAS USED TO ESTIMATE THE HEIGHT/SIZE OF THE PROPOSED TOWER IN THE PHOTO-SIMULATIONS. THE PHOTO-SIMULATIONS OF THE TOWER ARE INTENDED FOR ILLUSTRATIVE PURPOSES ONLY AND THE CONSTRUCTED TOWER MAY VARY SLIGHTLY IN LOCATION, DIMENSION AND/OR COLOR FROM THE DEPICTED IMAGE.

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8051 CONGRESS AVENUE
BOCA RATON, FL 33487
SBASITE.COM

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL CT
RALEIGH, NC 27609
DELTAOAKSGROUP.COM

SITE NAME:
352 EAST FIRST STREET

SITE ID:
CA24329-S

SITE ADDRESS:
352 EAST FIRST STREET
CALEXICO, CA 92231

PHOTO NUMBER
2 (LOCATION 1)

PHOTO COORDINATES
32.665596°N, 115.494931°W

LOCATION OF PHOTO
INTERSECTION OF HEFFERNAN
AVE AND EAST FIRST ST

DISTANCE TO SITE
0.05 MILES

PHOTO AZIMUTH
101°

SHEET NUMBER

3

SIMULATION



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BOCA RATON, FL 33487
SBASITE.COM

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL CT
RALEIGH, NC 27609
DELTAOAKSGROUP.COM

<u>SITE NAME:</u> 352 EAST FIRST STREET	<u>PHOTO NUMBER</u> 2 (LOCATION 1)	<u>DISTANCE TO SITE</u> 0.05 MILES
<u>SITE ID:</u> CA24329-S	<u>PHOTO COORDINATES</u> 32.665596°N, 115.494931°W	<u>PHOTO AZIMUTH</u> 101°
<u>SITE ADDRESS:</u> 352 EAST FIRST STREET CALEXICO, CA 92231	<u>LOCATION OF PHOTO</u> INTERSECTION OF HEFFERNAN AVE AND EAST FIRST ST	<u>SHEET NUMBER</u> 4

**EXISTING
CONDITIONS**



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8051 CONGRESS AVENUE
BOCA RATON, FL 33487
SBASITE.COM

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL CT
RALEIGH, NC 27809
DELTAOAKSGROUP.COM

SITE NAME:
352 EAST FIRST STREET

SITE ID:
CA24329-S

SITE ADDRESS:
352 EAST FIRST STREET
CALEXICO, CA 92231

PHOTO NUMBER
3 (LOCATION 1)

PHOTO COORDINATES
32.667672°N, 115.493507°W

LOCATION OF PHOTO
INTERSECTION OF HEBER AVE
AND EAST THIRD ST

DISTANCE TO SITE
0.16 MILES

PHOTO AZIMUTH
190°

SHEET NUMBER

5

SIMULATION

PROPOSED 137'
SELF-SUPPORT TOWER

PHOTOGRAPHS WERE PROVIDED VIA IMAGES TAKEN FROM GOOGLE M/ STREET VIEW RETRIEVED ON 8/15/2023. THE HEIGHT OF THE EXISTING WATER TOWER WAS USED TO ESTIMATE THE HEIGHT/SIZE OF THE PROPOSED TOWER IN THE PHOTO-SIMULATIONS. THE PHOTO-SIMULATIONS OF THE TOWER ARE INTENDED FOR ILLUSTRATIVE PURPOSES ONLY AND THE CONSTRUCTED TOWER MAY VARY SLIGHTLY IN LOCATION, DIMENSION AND/OR COLOR FROM THE DEPICTED IMAGE.

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SBA COMMUNICATIONS CORPORATION
8051 CONGRESS AVENUE
BOCA RATON, FL 33487
SBASITE.COM

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL CT
RALEIGH, NC 27809
DELTAOAKSGROUP.COM

SITE NAME:

352 EAST FIRST STREET

SITE ID:

CA24329-S

SITE ADDRESS:

352 EAST FIRST STREET
CALEXICO, CA 92231

PHOTO NUMBER

3 (LOCATION 1)

PHOTO COORDINATES

32.667672°N, 115.493507°W

LOCATION OF PHOTO

INTERSECTION OF HEBER AVE
AND EAST THIRD ST

DISTANCE TO SITE

0.16 MILES

PHOTO AZIMUTH

190°

SHEET NUMBER

6

**EXISTING
CONDITIONS**



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PREPARED FOR:



SBA COMMUNICATIONS CORPORATION
8051 CONGRESS AVENUE
BOCA RATON, FL 33487
SBASITE.COM

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL CT
RALEIGH, NC 27609
DELTAOAKSGROUP.COM

SITE NAME:
352 EAST FIRST STREET

SITE ID:
CA24329-S

SITE ADDRESS:
352 EAST FIRST STREET
CALEXICO, CA 92231

PHOTO NUMBER
5 (LOCATION 2)

PHOTO COORDINATES
32.665597°N, 115.492057°W

LOCATION OF PHOTO
INTERSECTION OF MARY AVE
AND EAST FIRST ST

DISTANCE TO SITE
0.06 MILES

PHOTO AZIMUTH
256°

SHEET NUMBER

7

SIMULATION



PROPOSED 137'
SELF-SUPPORT TOWER

PHOTOGRAPHS WERE PROVIDED VIA IMAGES TAKEN FROM GOOGLE M/ STREET VIEW RETRIEVED ON 8/15/2023. THE HEIGHT OF THE EXISTING WATER TOWER WAS USED TO ESTIMATE THE HEIGHT/SIZE OF THE PROPOSED TOWER IN THE PHOTO-SIMULATIONS. THE PHOTO-SIMULATIONS OF THE TOWER ARE INTENDED FOR ILLUSTRATIVE PURPOSES ONLY AND THE CONSTRUCTED TOWER MAY VARY SLIGHTLY IN LOCATION, DIMENSION AND/OR COLOR FROM THE DEPICTED IMAGE.

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8051 CONGRESS AVENUE
BOCA RATON, FL 33487
SBASITE.COM

PREPARED BY:



DELTA OAKS GROUP, PLLC
4904 PROFESSIONAL CT
RALEIGH, NC 27609
DELTAOAKSGROUP.COM

SITE NAME:
352 EAST FIRST STREET

SITE ID:
CA24329-S

SITE ADDRESS:
352 EAST FIRST STREET
CALEXICO, CA 92231

PHOTO NUMBER
5 (LOCATION 2)

PHOTO COORDINATES
32.665597°N, 115.492057°W

LOCATION OF PHOTO
INTERSECTION OF MARY AVE
AND EAST FIRST ST

DISTANCE TO SITE
0.06 MILES

PHOTO AZIMUTH
256°

SHEET NUMBER
8

ATTACHMENT “E”
ALUCP POLICIES CHAPTER 2

Policies

1. SCOPE OF REVIEW

1. Geographic Area of Concern

The Imperial County Airport Land Use Commission's planning area encompasses:

1. *Airport Vicinity* - All lands on which the uses could be negatively affected by present or future aircraft operations at the following airports in the County and lands on which the uses could negatively affect said airports. The specific limits of the planning area for each airport are depicted on the respective *Compatibility Map* for that airport as presented in Chapter 3.
 - (a) Brawley Municipal Airport.
 - (b) Calexico International Airport.
 - (c) Calipatria Municipal Airport.
 - (d) Holtville Airport.
 - (e) Imperial County Airport.
 - (f) Salton Sea Airport.
 - (g) Naval Air Facility El Centro.

2. *Countywide Impacts on Flight Safety* - Those lands, regardless of their location in the County, on which the uses could adversely affect the safety of flight in the County. The specific uses of concern are identified in Paragraph 2.
3. *New Airports and Heliports* - The site and environs of any proposed new airport or heliport anywhere in the County. The Brawley Pioneers Memorial Hospital has a heliport area on-site.

2. Types of Airport Impacts

The Commission is concerned only with the potential impacts related to aircraft noise, land use safety (with respect both to people on the ground and the occupants of aircraft), airspace protection, and aircraft overflights. Other impacts sometimes created by airports (e.g., air pollution, automobile traffic, etc.) are beyond the scope of this plan. These impacts are within the authority of other local, state, and federal agencies and are addressed within the environmental review procedures for airport development.

3. Types of Actions Reviewed

1. *General Plan Consistency Review* - Within 180 days of adoption of the *Airport Land Use Compatibility Plan*, the Commission shall review the general plans and specific plans of affected local jurisdictions to determine their consistency with the Commission's policies. Until such time as (1) the Commission finds that the local general plan or specific plan is consistent with the *Airport Land Use Compatibility Plan*, or (2) the local agency has overruled the Commission's determination of inconsistency, the local jurisdiction shall refer all actions, regulations, and permits (as specified in Paragraph 3) involving the airport area of influence to the Commission for review (Section 21676.5 (a)).
2. *Statutory Requirements* - As required by state law, the following types of actions shall be referred to the Airport Land Use Commission for determination of consistency with the Commission's plan *prior to their approval* by the local jurisdiction:

- (a) The adoption or approval of any amendment to a general or specific plan affecting the Commission's geographic area of concern as indicated in Paragraph 1 (Section 21676 (b)).
- (b) The adoption or approval of a zoning ordinance or building regulation which (1) affects the Commission's geographic area of concern as indicated in Paragraph 1 and (2) involves the types of airport impact concerns listed in Paragraph 2 (Section 21676 (b)).
- (c) Adoption or modification of the master plan for an existing public-use airport (Section 21676 (c)).
- (d) Any proposal for a new airport or heliport whether for public use or private use (Section 21661.5).

3. *Other Project Review* - State law empowers the Commission to review additional types of land use "actions, regulations, and permits" involving a question of airport/land use compatibility if either: (1) the Commission and the local agency agree that these types of individual projects shall be reviewed by the Commission (Section 21676.5 (b)); or (2) the Commission finds that a local agency has not revised its general plan or specific plan or overruled the Commission and the Commission requires that the individual projects be submitted for review (Section 21676.5 (a)). For the purposes of this plan, the specific types of "actions, regulations, and permits" which the Commission shall review include:

- a) Any proposed expansion of a city's sphere of influence within an airport's planning area.
- b) Any proposed residential planned unit development consisting of five or more dwelling units within an airport's planning area.
- c) Any request for variance from a local agency's height limitation ordinance.
- d) Any proposal for construction or alteration of a structure (including antennas) taller than 150 feet above the ground anywhere within the County.

- e) Any major capital improvements (e.g., water, sewer, or roads) that would promote urban development.
- f) Proposed land acquisition by a government entity (especially, acquisition of a school site).
- g) Building permit applications for projects having a valuation greater than \$500,000.
- h) Any other proposed land use action, as determined by the local planning agency, involving a question of compatibility with airport activities.

4. Review Process

1. *Timing of Project Submittal* - Proposed actions listed in Paragraph 3.1 must be submitted to the Commission for review prior to approval by the local government entity. All projects shall be referred to the Commission at the earliest reasonable point in time so that the Commission's review can be duly considered by the local jurisdiction prior to formalizing its actions. At the local government's discretion, submittal of a project for Airport Land Use Commission review can be done before, after, or concurrently with review by the local planning commission or other local advisory bodies.
2. *Commission Action Choices* - When reviewing a land use project proposal, the Airport Land Use Commission has a choice of either of two actions: (1) find the project *consistent* with the *Airport Land Use Compatibility Plan*; or, (2) find the project *inconsistent* with the Plan. In making a finding of inconsistency, the Commission may note the conditions under which the project would be consistent with the Plan. The Commission cannot, however, find a project consistent with the Plan subject to the inclusion of certain conditions in the project.

Table 2A
Compatibility Criteria

Imperial County Airport Land Use Compatibility Plan

Zone	Location	Impact Elements	Maximum Densities		Required Open Land
			Residential (dw/acre) ¹	Other Uses (people/acre) ²	
A	Runway Protection Zone or within Building Restriction Line	<ul style="list-style-type: none"> High risk High noise levels 	0	10	All Remaining
B1	Approach/Departure Zone and Adjacent to Runway	<ul style="list-style-type: none"> Substantial risk - aircraft commonly below 400 ft. AGL or within 1,000 ft. of runway Substantial noise 	0.1	100	30%
B2	Extended Approach/Departure Zone	<ul style="list-style-type: none"> Significant risk - aircraft commonly below 800 ft. AGL Significant noise 	1	100	30%
C	Common Traffic Pattern	<ul style="list-style-type: none"> Limited risk - aircraft at or below 1,000 ft. AGL Frequent noise intrusion 	8	200	15%
D	Other Airport Environs	<ul style="list-style-type: none"> Negligible risk Potential for annoyance from overflights 	No Limit	No Limit	No Requirement

Zone	Additional Criteria		Examples	
	Prohibited Uses	Other Development Conditions	Normally Acceptable Uses	Uses Not Normally Acceptable
A	<ul style="list-style-type: none"> All structures except ones with location set by aeronautical function Assemblages of people Objects exceeding FAR Part 77 height limits Hazards to flight³ 	<ul style="list-style-type: none"> Dedication of aviation easement 	<ul style="list-style-type: none"> Aircraft tiedown apron Pastures, field crops, vineyards Automobile parking 	<ul style="list-style-type: none"> Heavy poles, signs, large trees, etc.
B1 and B2	<ul style="list-style-type: none"> Schools, day care centers, libraries Hospitals, nursing homes Highly noise-sensitive uses Above ground storage Storage of highly flammable materials Hazards to flight³ 	<ul style="list-style-type: none"> Locate structures maximum distance from extended runway centerline Minimum NLR⁷ of 25 dBA in residential and office buildings Dedication of aviation easement 	<ul style="list-style-type: none"> Uses in Zone A Any agricultural use except ones attracting bird flocks Warehousing, truck terminals Single-story offices 	<ul style="list-style-type: none"> Residential subdivisions Intensive retail uses Intensive manufacturing or food processing uses Multiple story offices Hotels and motels
C	<ul style="list-style-type: none"> Schools Hospitals, nursing homes Hazards to flight³ 	<ul style="list-style-type: none"> Dedication of overflight easement for residential uses 	<ul style="list-style-type: none"> Uses in Zone B Parks, playgrounds Low-intensity retail, offices, etc. Low-intensity manufacturing, food processing Two-story motels 	<ul style="list-style-type: none"> Large shopping malls Theaters, auditoriums Large sports stadiums Hi-rise office buildings
D	<ul style="list-style-type: none"> Hazards to flight³ 	<ul style="list-style-type: none"> Deed notice required for residential development 	<ul style="list-style-type: none"> All except ones hazardous to flight 	

Table 2A Continued Compatibility Criteria

Imperial County Airport Land Use Compatibility Plan

NOTES

- 1 Residential development should not contain more than the indicated number of dwelling units per gross acre. Clustering of units is encouraged as a means of meeting the Required Open Land requirements.
- 2 The land use should not attract more than the indicated number of people per acre at any time. This figure should include all individuals who may be on the property (e.g., employees, customers/visitors, etc.). These densities are intended as general planning guidelines to aid in determining the acceptability of proposed land uses.
- 3 See Policy 2.5.
- 4 These uses typically can be designed to meet the density requirements and other development conditions listed.
- 5 These uses typically do not meet the density and other development conditions listed. They should be allowed only if a major community objective is served by their location in this zone and no feasible alternative location exists.
- 6 See Policy 3.4
- 7 NLR = Noise Level Reduction; i.e., the attenuation of sound level from outside to inside provided by the structure.

BASIS FOR COMPATIBILITY ZONE BOUNDARIES

The following general guidelines are used in establishing the Compatibility Zone boundaries for each civilian airport depicted in Chapter 3. Modifications to the boundaries may be made to reflect specific local conditions such as existing roads, property lines, and land uses. Boundaries for NAF El Centro are modified in recognition of the differences between civilian and military aircraft characteristics and flight tracks.

- A** The boundary of this zone for each airport is defined by the runway protection zones (formerly called runway clear zones) and the airfield building restriction lines.

Runway protection zone dimensions and locations are set in accordance with Federal Aviation Administration standards for the proposed future runway location, length, width, and approach type as indicated on an approved Airport Layout Plan. If no such plan exists, the existing runway location, length, width, and approach type are used.

The building restriction line location indicated on an approved Airport Layout Plan is used where such plans exist. For airports not having an approved Airport Layout Plan, the zone boundary is set at the following distance laterally from the runway centerline:

Visual runway for small airplanes	370 feet
Visual runway for large airplanes	500 feet
Nonprecision instrument runway for large airplanes	500 feet
Precision instrument runway	760 feet

These distances allow structures up to approximately 35 feet height to remain below the airspace surfaces defined by Federal Aviation Regulations Part 77.

- B1** The outer boundary of the Approach/Departure Zone is defined as the area where aircraft are commonly below 400 feet above ground level (AGL). For visual runways, this location encompasses the base leg of the traffic pattern as commonly flown. For instrument runways, the

altitudes established by approach procedures are used. Zone B1 also includes areas within 1,000 feet laterally from the runway centerline.

- B2** The Extended Approach/Departure Zone includes areas where aircraft are commonly below 800 feet AGL on straight-in approach or straight-out departure. It applies to runways with more than 500 operations per year by large aircraft (over 12,500 pounds maximum gross takeoff weight) and/or runway ends with more than 10,000 total annual takeoffs.

- C** The outer boundary of the Common Traffic Pattern Zone is defined as the area where aircraft are commonly below 1,000 feet AGL (i.e., the traffic pattern and pattern entry points). This area is considered to extend 5,000 feet laterally from the runway centerline and from 5,000 to 10,000 feet longitudinally from the end of the runway primary surface. The length depends upon the runway classification (visual versus instrument) and the type and volume of aircraft accommodated. For runways having an established traffic solely on one side, the shape of the zone is modified accordingly.

- D** The outer boundary of the Other Airport Environs Zone conforms with the adopted Planning Area for each airport.

see/Imperial.